



Bonus Package

5 *GE Appliances (from the Brick.)*

or

A \$2500.00 *furniture gift certificate*
(from the Brick.)

or

Central Air Conditioning

LANDPOWER

Plus

REAL ESTATE LTD. BROKERAGE

Oak Staircase with large 1 3/4" spindles in a natural finish
(carpet runner included)

Plus

Pre-finished hardwood floors 2 1/4" x 3/4" in a natural finish to
the main floor.

Plus

2nd Upgrade kitchen cabinets

*(Ultra II, from Canac) with elongated uppers and upper
crown molding*

For a limited time only



Villas of Elgin Mills

Luxury Freehold Mediterranean Inspired Garden Villas

Only 13 Townhomes Remaining

Lot #	Model	Elevation	Sq.Ft.	Price
<u>Interior units</u>				
8 & 24	Villa Orvietto*	"B" stone	1660	\$242,990
25	Villa Terme*	"B" stone	1750	\$259,990
<u>24' End Villas</u>				
74	Villa Orvietto*	"A"	1650	\$255,990
67	Villa Orvietto*	"B" stone	1660	\$258,990
5, & 42	Villa Capri Optional library with double door entrance	"A"	1815 1940	\$268,990 + \$3,000
23	Villa Capri Optional library with double door entrance	"B" stone	1840 1965	\$266,990 + \$3,000
48	Villa Monaco	"A"	1980	\$276,990

32' Corner Villa

1 & 15	Villa Venezia	"A"	2025	\$299,990
	alt. 2 nd floor plan	"A"	2235	\$314,990
12 & 81	Villa Venezia	"B" stone	2060	\$304,990
	alt. 2 nd floor plan	"B" stone	2235	\$319,990

G.S.T. Included

- Some lots subject to premiums, premium lots restricted to certain model types.
- Some lots subject to premiums due to grade, look out, walk-up or walk-out.
- Four (4) bedroom option + \$5,000.00*.
- Should you need any clarification as to which remaining lots may be subject to premiums please ask the sales consultant for details.

Sales Consultant: Valerie Rushton

Sales Office Hours: Monday – Wednesday 1:00pm – 7:00pm
 Thursday By appointment only
 Friday Closed
 Saturday, Sunday & holidays 12:00 – 5:00pm

Telephone: 905 884-7877
 Facsimile: 905 884-0542
 Toll Free: 1-877-609-6099

All price, plans, materials and specifications are subject to change without notice. All items shown are per applicable plan. All measurements are approximate. All illustrations are artist's concept. E & O.E. Prices effective as of 27-Aug-01.



Luxury Freehold Mediterranean Inspired Garden Villas

Villas of Elgin Mills

<i>Model</i>	<i>Elevation</i>	<i>Sq. Ft.</i>	<i>Price</i>
<i>Villa Cortona</i>	"A"	1175	\$198,990.00
	"B" with stone	1180	\$201,990.00
<i>Optional 3 bedroom for either "A" or "B"</i>			\$204,990.00
<i>Villa Antica</i>	"A"	1325	\$209,990.00
	"B" with stone	1325	\$212,990.00
<i>Villa Verona</i>	"A"	1490	\$223,990.00
	"B" with stone	1490	\$227,990.00
<i>Villa Riviera</i>	"A"	1560	\$224,990.00
	"B" with stone	1560	\$229,990.00
<i>Villa Genoa</i>	"A"	1590	\$231,990.00
	"B" with stone	1600	\$234,990.00
<i>Villa Orvietto</i>	"A"	1650	\$239,990.00
	"B" with stone	1660	\$242,990.00
<i>Optional 4 bedroom for either "A" or "B"</i>			\$245,990.00
<i>Villa Terme</i>	"A"	1750	\$254,990.00
	"B" with stone	1750	\$259,990.00
<i>Optional 4 bedroom for either "A" or "B"</i>			\$262,990.00

G.S.I Included

- *Some lots subject to premiums, Premium lots restricted to certain model types, ask sales consultant for details*
- *Some lots subject to premiums due to grade, look-out, walk-up or walk-out.*

Telephone (905) 884-7877, Facsimile (905) 884-0542, Toll Free 1-877-609-6099

Sales Consultant : Robert Supczak

Sales office hours; Monday to Thursday 1:00pm to 7:00pm

Friday - Closed

Saturday, Sunday and Holidays - 11:00am to 6:00pm



End and Corner Villas.

<u>Model</u>	<u>Elevation</u>	<u>Sq. Ft.</u>	<u>Price</u>
<u>Villa Riviera</u>	"A"	1560	\$249,990.00
	"B" with stone	1560	\$254,990.00
<u>Villa Genoa</u>	"A"	1590	\$255,990.00
	"B" with stone	1600	\$258,990.00
<u>Villa Orvietto</u>	"A"	1650	\$261,990.00
	"B" with stone	1660	\$264,990.00
Optional 4 bedroom for either "A" or "B"			\$266,990.00
<u>Villa Terme</u>	"A"	1750	\$264,990.00
	"B" with stone	1750	\$269,990.00
Optional 4 bedroom for either "A" or "B"			\$271,990.00
<u>Villa Capri</u> *	"A" 3 Bdrm	1815	\$266,990.00
	4 Bdrm	1830	\$269,990.00
with stone	"B" 3 Bdrm	1840	\$272,990.00
	4 Bdrm	1860	\$275,990.00
Optional library with double door entrance		1940	+ \$3,000.00
<u>Villa Monaco</u>	"A" 4 Bdrm	1980	\$284,990.00
with stone	"B" 4 Bdrm	2015	\$289,990.00
<u>Villa Venezia</u>	"A" 4 Bdrm	2025	\$299,990.00
(Corner villa) with stone	"B" 4 Bdrm	2060	\$304,990.00
Alternate 2 nd floor plan	"A"	2235	\$314,990.00
Alternate 2 nd floor plan	"B"	2235	\$319,990.00

G.S.I. Included

- Some lots subject to premiums, Premium lots restricted to certain model types, ask sales consultant for details
- Some lots subject to premiums due to grade, look-out, walk-up or walk-out.

Telephone (905) 884-7877, Facsimile (905) 884-0542, Toll Free 1-877-609-6099

Sales Consultant: Robert Supczak



QUALITY APPOINTMENTS

- ✓ Insulated concrete forms (ICF) for all perimeter, party and garage walls, from footing to roof-lines.
- ✓ An insulated concrete form building system results in superior insulation and reduced sound transmission.
- ✓ "Lifebreath" high efficiency furnaces with built-in heat recovery ventilator
 - ✓ Pre-engineered web floor joist (Silent floor system)
 - ✓ Plywood sub-floors, screwed and glued down
 - ✓ Metal framing
- ✓ Perimeter walls in basement insulated and dry-walled floor to ceiling
- ✓ Covered front portico and 2nd storey loggia's (where applicable)
- ✓ Interior of garage to be fully dry-walled and gas sealed
 - ✓ Paved driveways
 - ✓ 9' ceilings to main floor
 - ✓ Vinyl clad casement windows
- ✓ Elegant Oak staircase with upgraded 1 3/4" oak spindles
 - ✓ Quality Gas Fireplace (as per plan)
 - ✓ Gourmet upgraded cabinetry to kitchen
- ✓ Elongated upper cabinets with upper crown to kitchen
 - ✓ Angled upper cabinets (as per applicable plan)
 - ✓ Upgraded vanity cabinetry
 - ✓ Oval soaker tubs to ensuite bathrooms
- ✓ Separate Glass shower enclosure with Glass door to ensuite bathrooms
 - ✓ Pedestal sink to powder room
 - ✓ 3 pcs rough in to basement
- ✓ Lower base cabinets with set-in or free standing laundry tubs (as per applicable plan)
- ✓ Pre-finished hardwood floors 2 1/4 x 3/4 (as indicated on floor plans)
- ✓ Imported ceramic floor tiles 12" x 12" or 13" x 13" (as indicated on floor plans)
 - ✓ 40 Oz broadloom, where applicable.
 - ✓ 4 1/4" baseboards and 2 3/4" trim, painted semi-gloss white
 - ✓ Space saving Wired shelving to all closets
- ✓ Your choice of Levers or knobs for all interior doors
- ✓ 5 appliances or a \$2500.00 furniture gift certificate from the Brick

See sales consultant for more information regarding our other outstanding construction features.



Bonus Package

5 GE Appliances (from the Brick.)

or

*A \$2500.00 furniture gift certificate
(from the Brick.)*

or

LANDPOWER
Central Air Conditioning
REAL ESTATE LTD. BROKERAGE
Plus

*Oak Staircase with large 1 3/4" spindles in a natural finish
(carpet runner included)*

Plus

*Pre-finished hardwood floors 2 1/4" x 3/4" in a natural finish to
the main floor.*

Plus

*2nd Upgrade kitchen cabinets
(Ultra II, from Canac) with elongated uppers and upper
crown molding*

For a limited time only



A Home with a Difference

ICF homes offer lower energy bills, a healthier living environment, and unlimited design possibilities.

Imagine a home built using a construction technology known for its warmth, comfort, strength, as well as its sound and weather resistance.

With irresistible radiant-heated floors, draft-free walls, larger windows and wider open spaces – an ICF home is the home you have been dreaming of!

ICF – Insulating Concrete Forms The Advanced Building System For Your New Home

The Features

- More energy efficient
- Virtually dust and pollen free
- Reduced sound transmission
- Larger windows, longer floor spans
- Wide window sills
- Sound resistance, quiet floors – no squeaks
- Infloor radiant heat
- Resistant to storms and high wind
- Fast, year-round construction
- Superior insulation

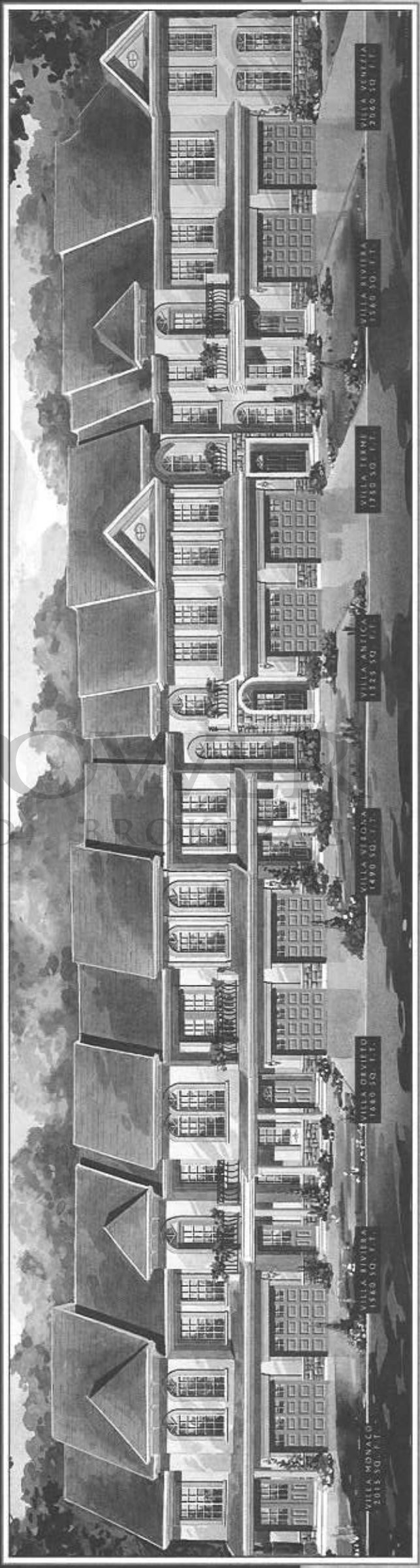
The Benefits

- Lower utility bills, saves money, more environmentally responsible
- Healthier living
- Comfort, privacy
- Flexibility in design
- Versatile interior decoration
- Peace and quiet
- Warm floors and consistent temperatures
- Safe and secure
- Convenient construction schedules
- Comfortable living with warm consistent temperatures throughout house

Take the time to study the features and benefits of an ICF home and join the growing number of homeowners who enthusiastically agree that choosing this home is the best decision they have ever made!



B L O C K E L E V A T I O N " A "

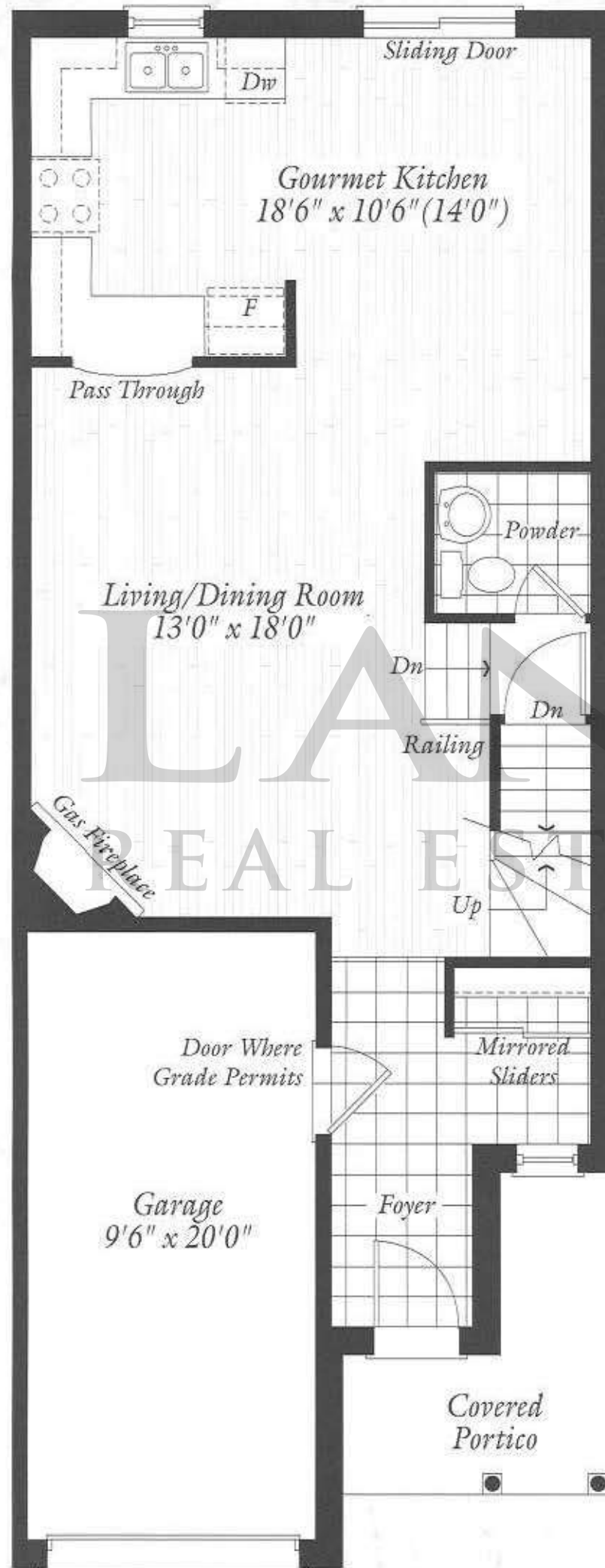


B L O C K E L E V A T I O N " B "

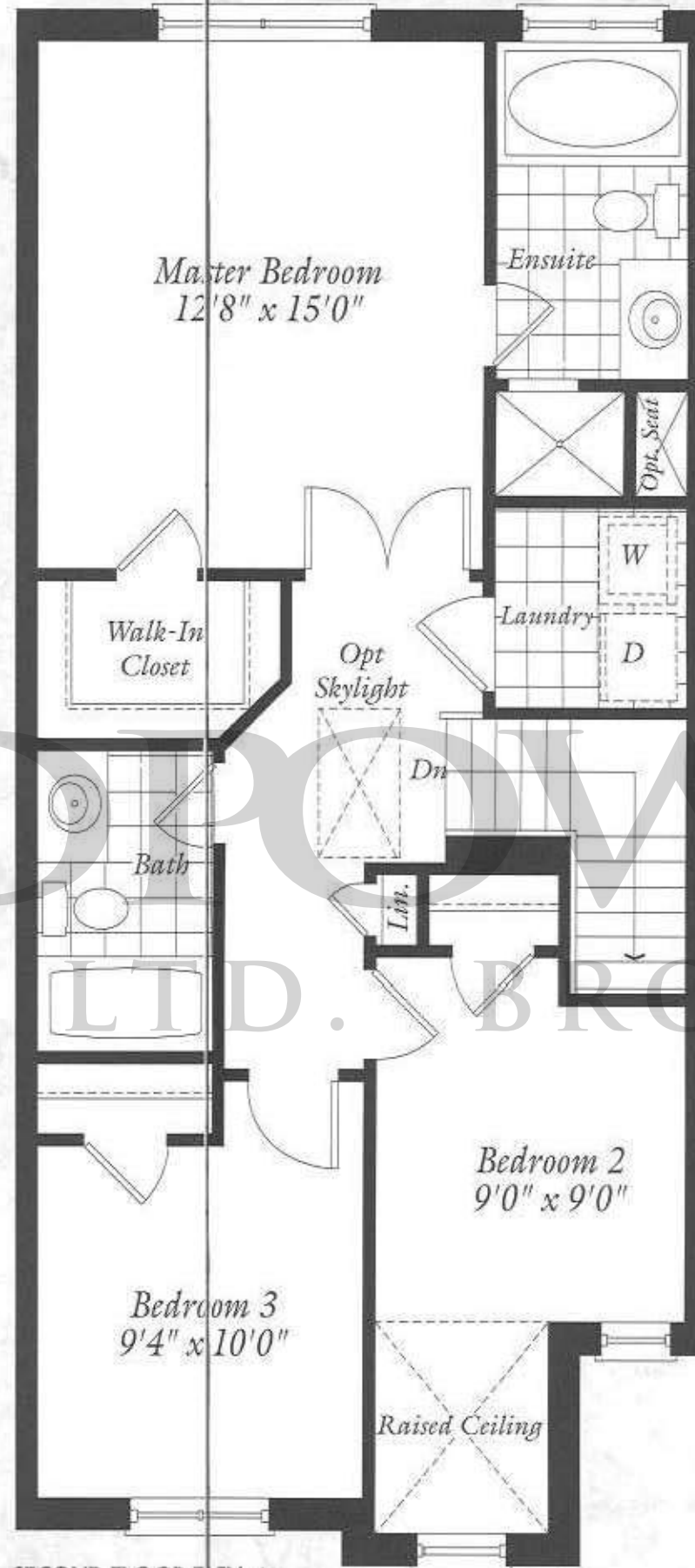
VILLA
RIVIERA 1560 SQ. FT.



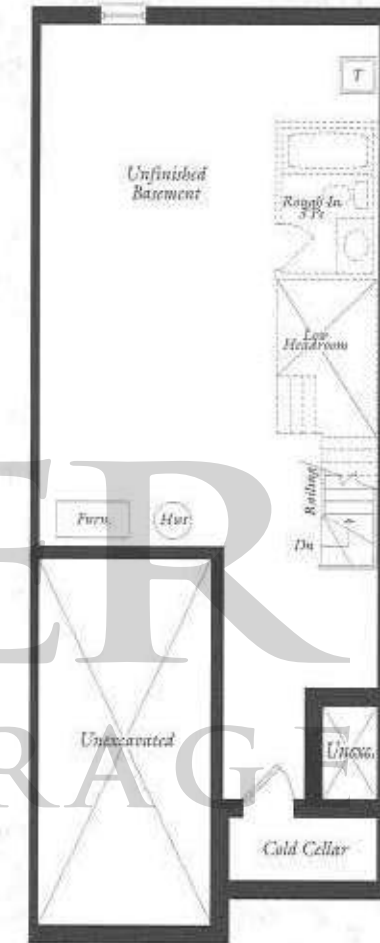
The
Villas
OF ELGIN MILLS



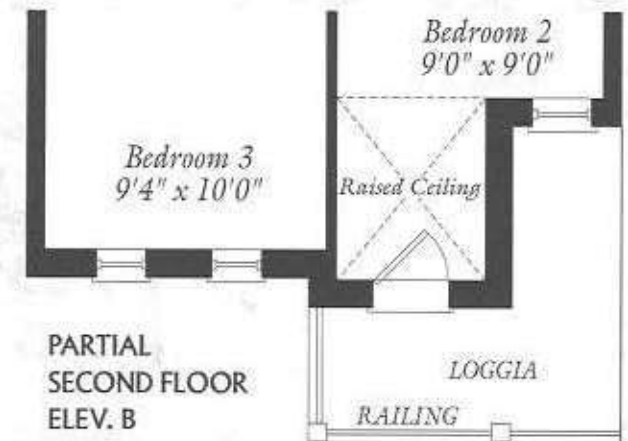
MAIN FLOOR



SECOND FLOOR ELEV. A



BASEMENT



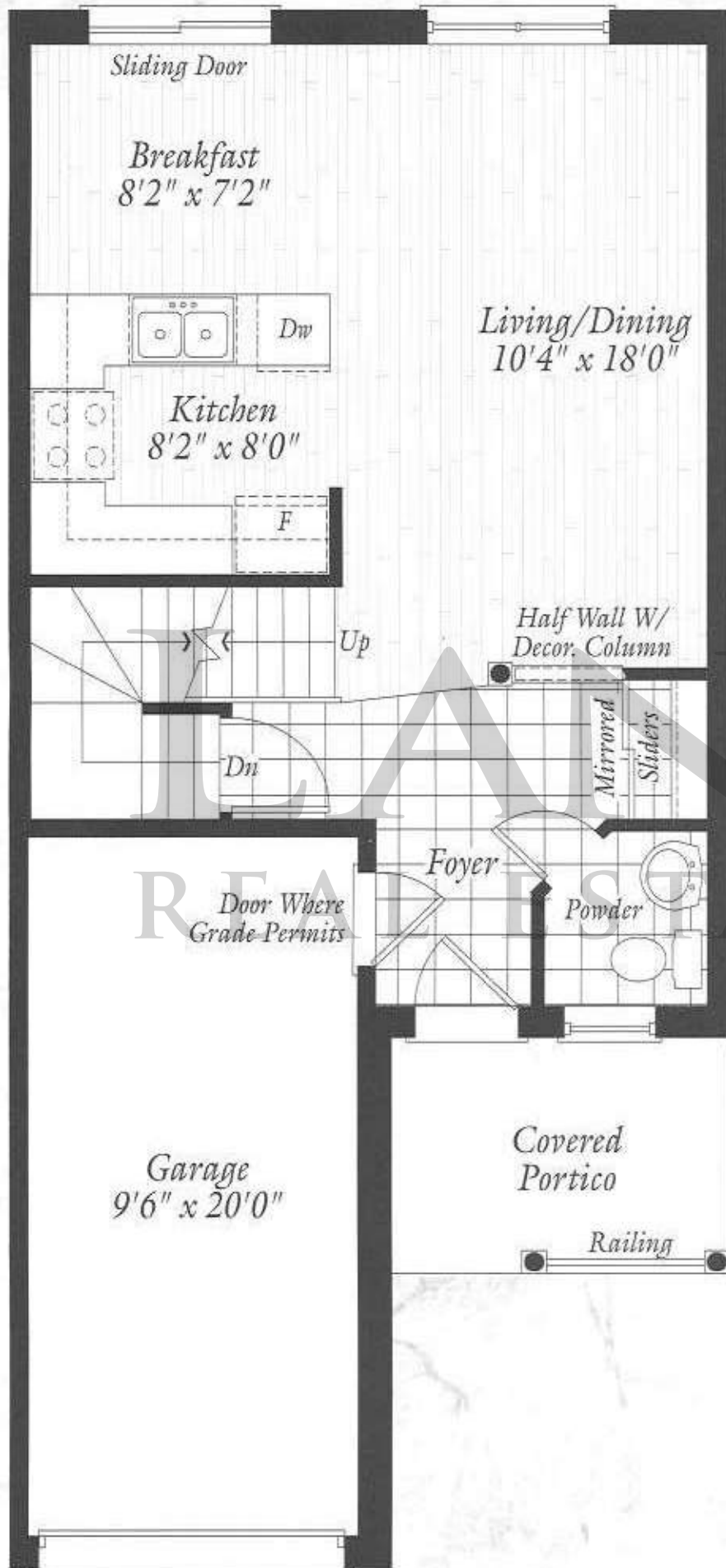
PARTIAL
SECOND FLOOR
ELEV. B

Materials, specifications, and floor plans are subjected to change without notice. All house renderings are artist's conceptions. All floor plans are approximate dimensions. Actual usable space may vary from the stated floor areas. E. & O.E. (TH-04)

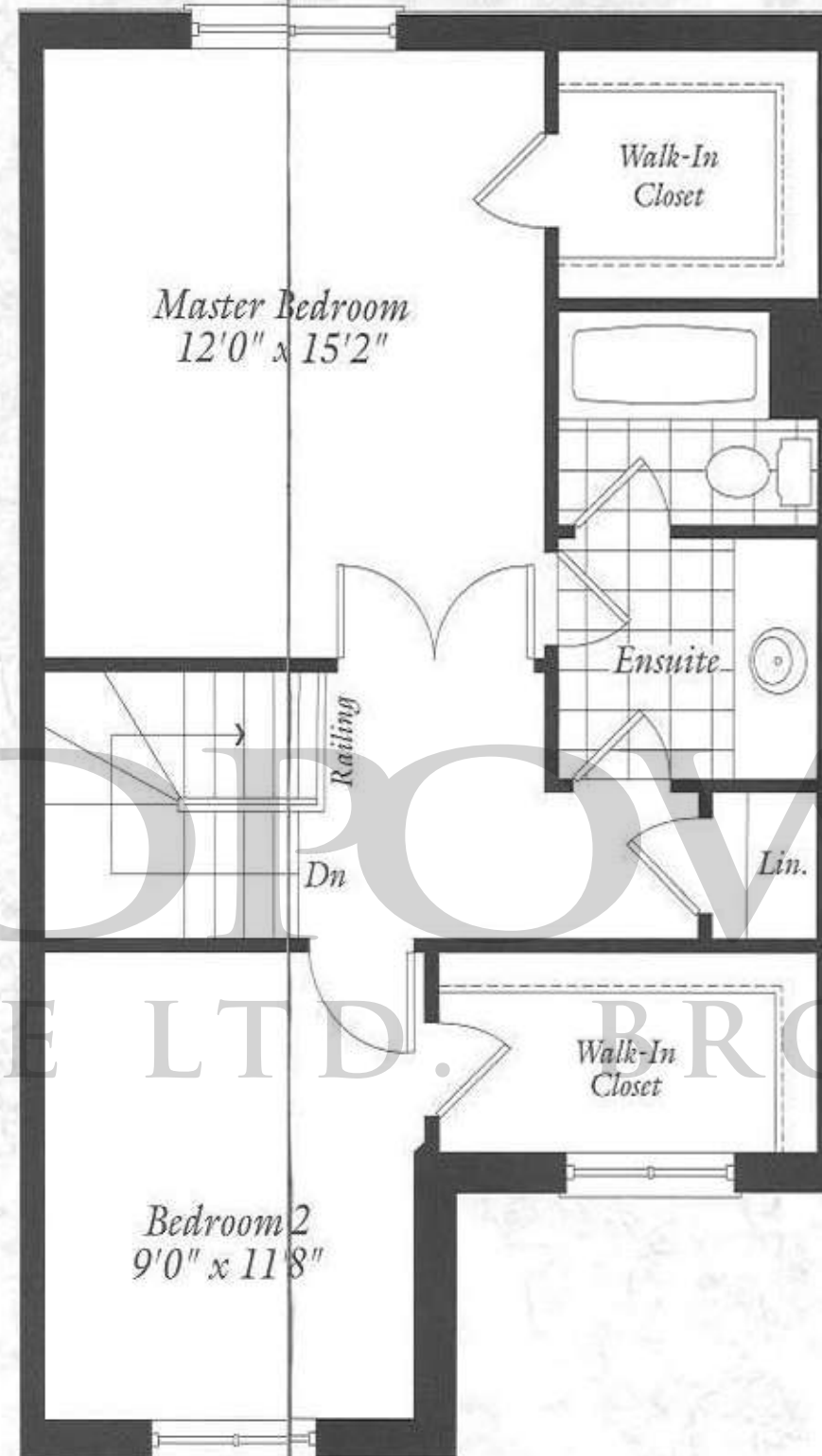




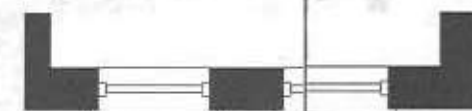
The
Villas
OF ELGIN MILLS



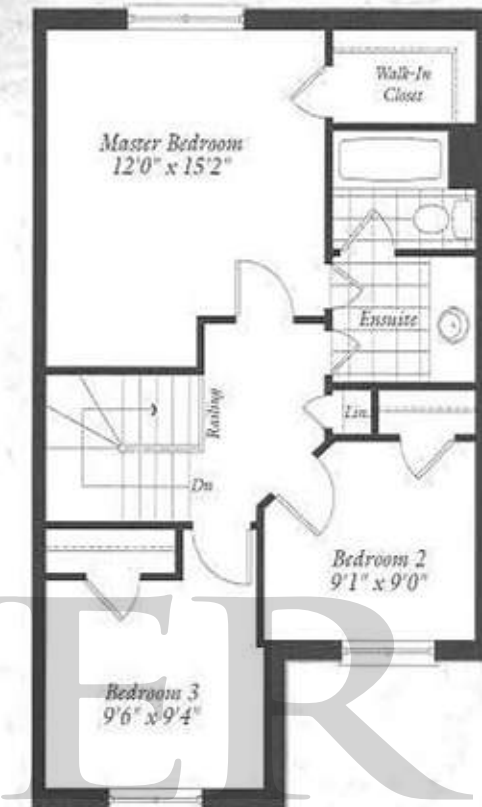
MAIN FLOOR



SECOND FLOOR PLAN EL.A

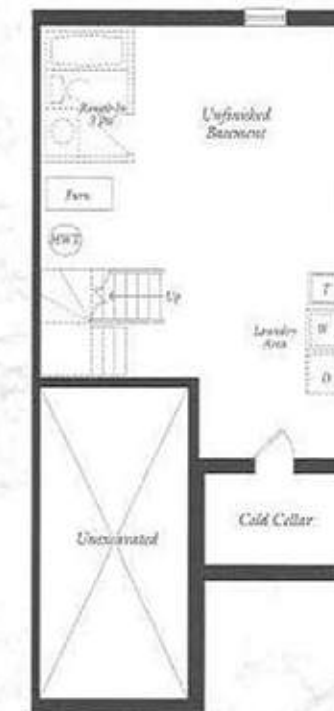


SECOND FLOOR PLAN EL.B



SECOND FLOOR
3 BEDROOM PLAN ELEV. A

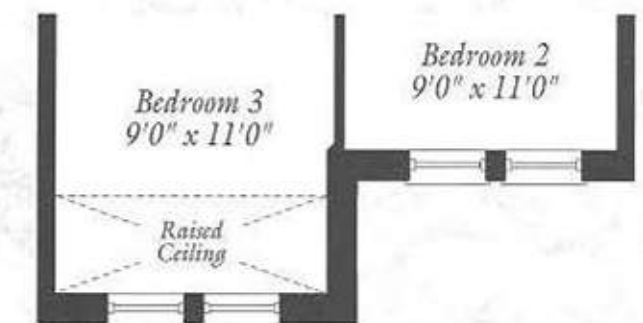
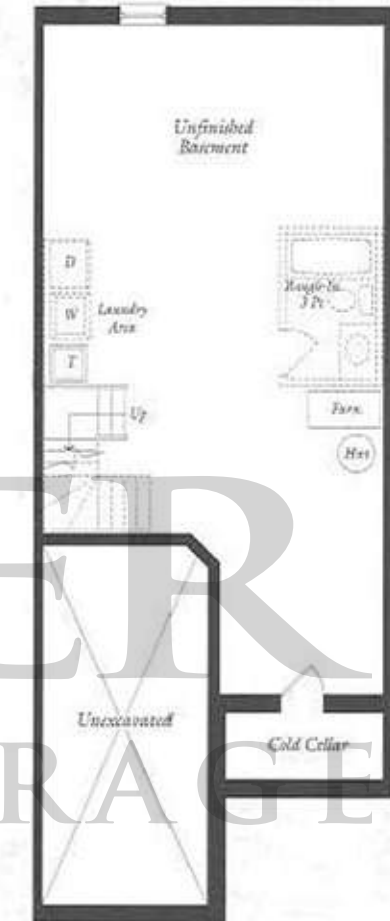
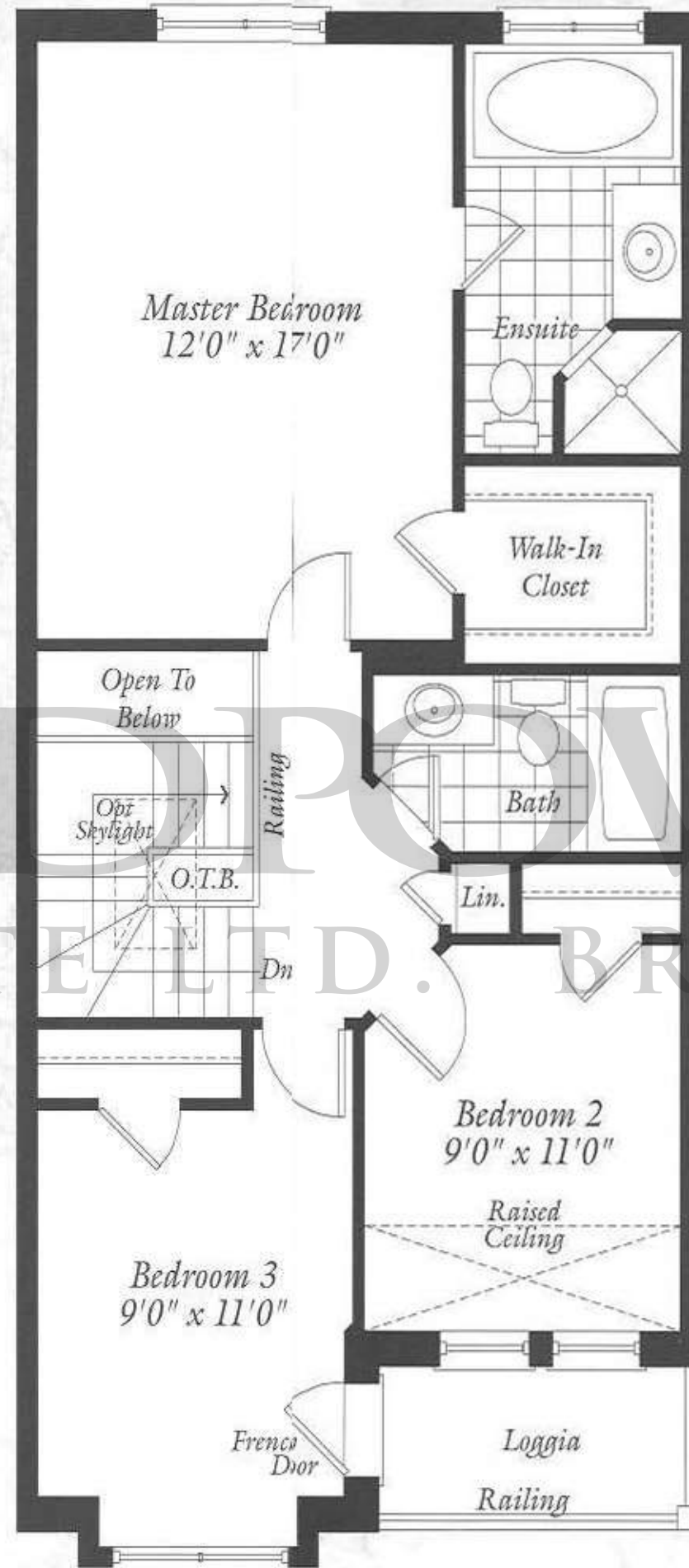
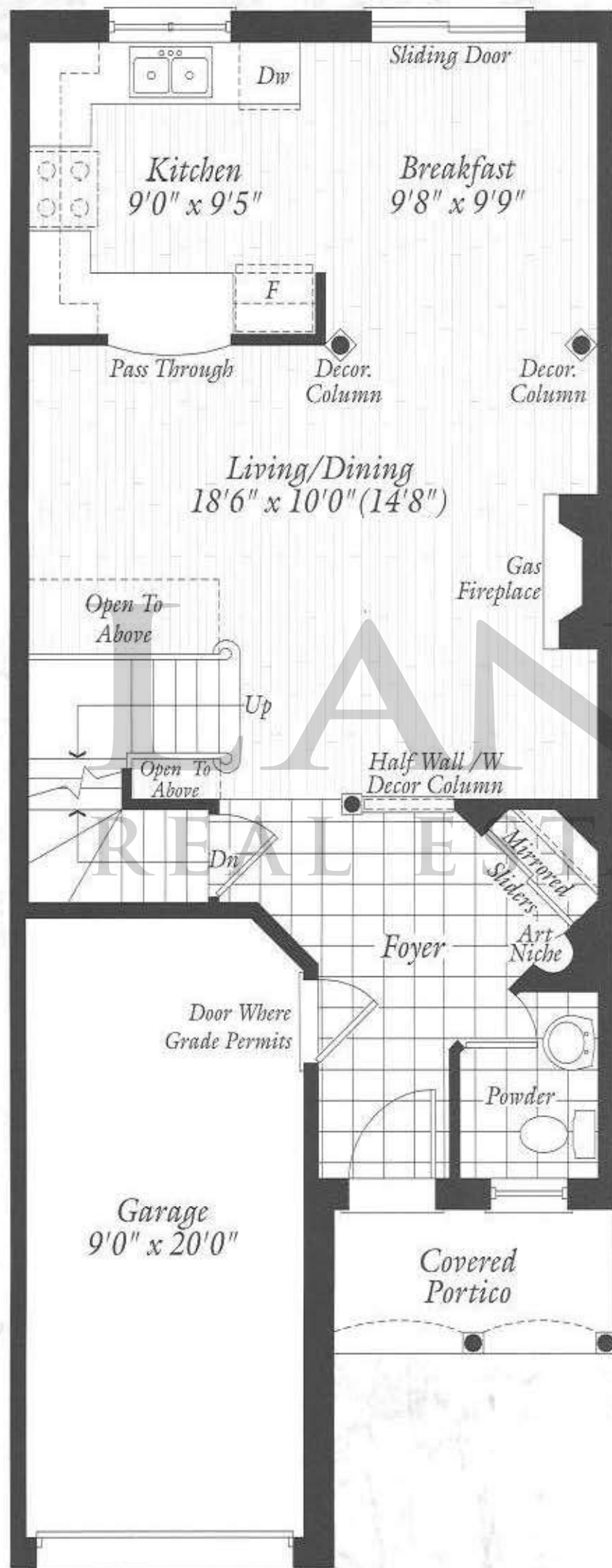
PARTIAL SECOND FLOOR
3 BEDROOM PLAN ELEV. B



BASEMENT

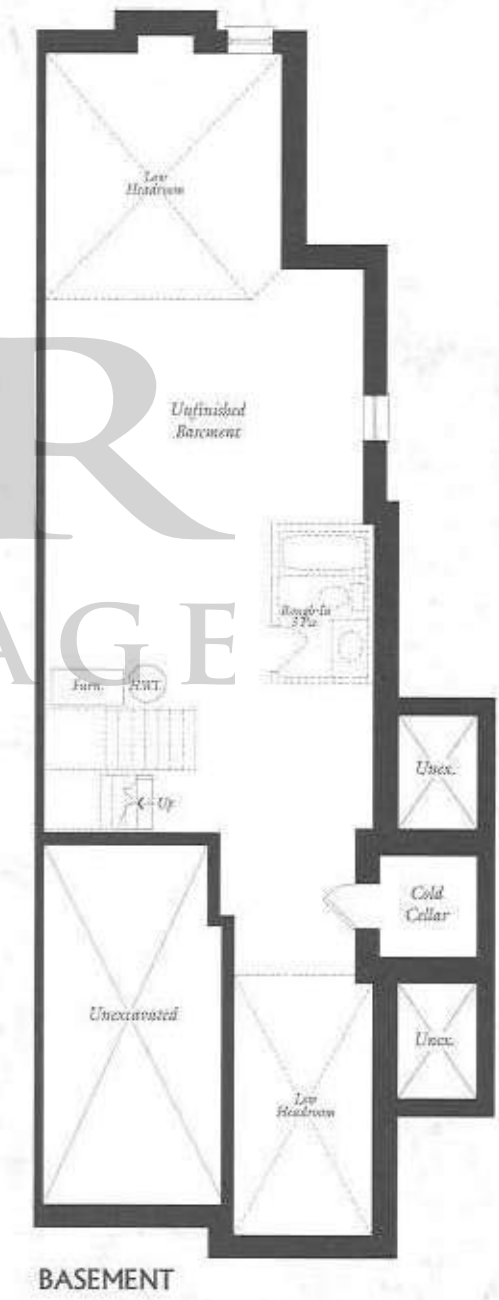
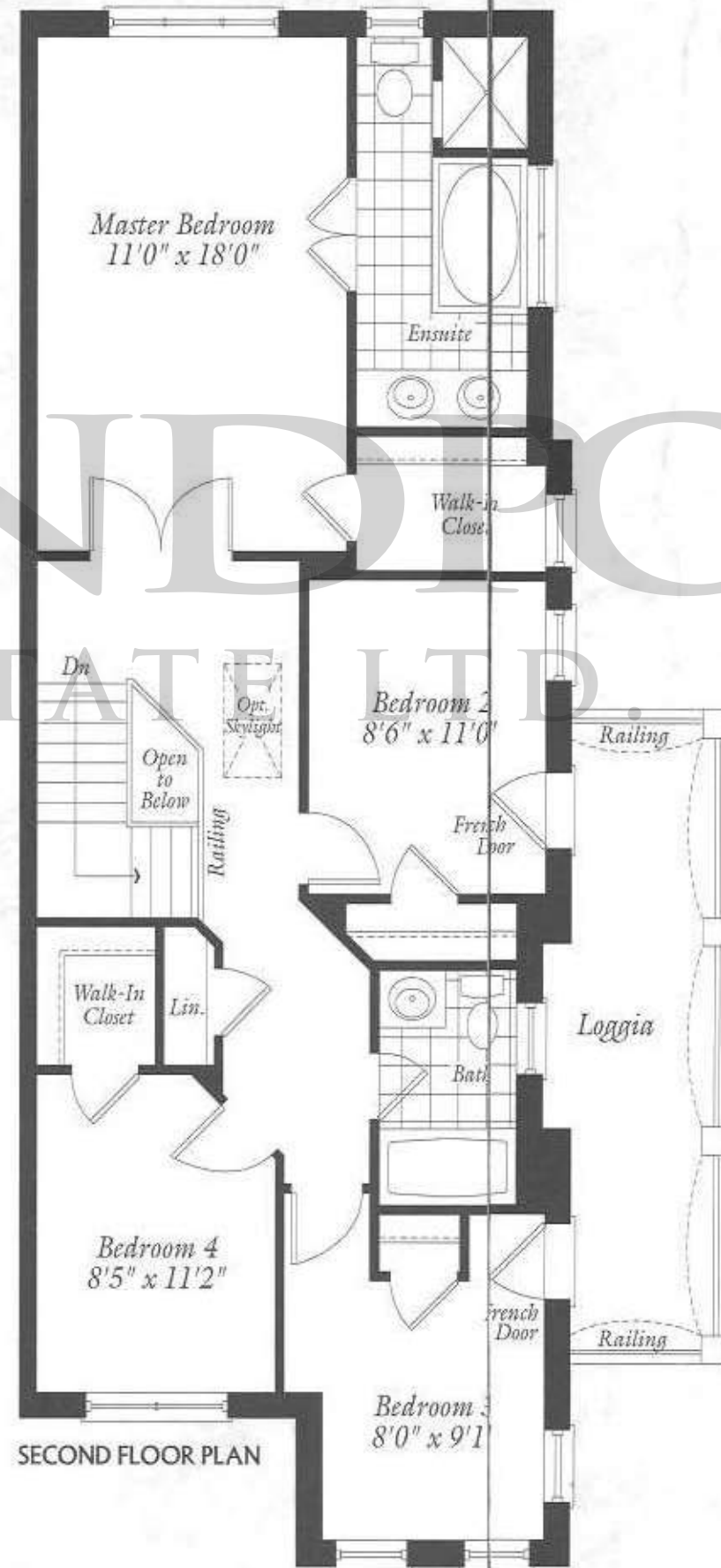
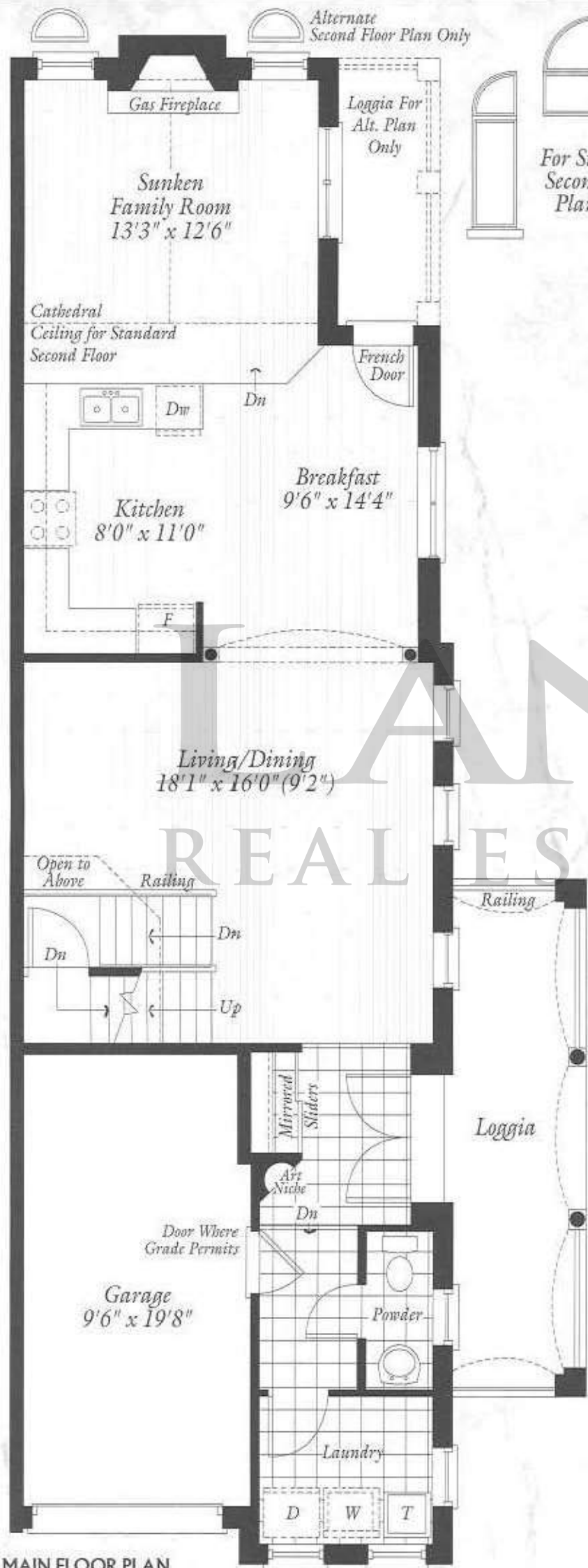
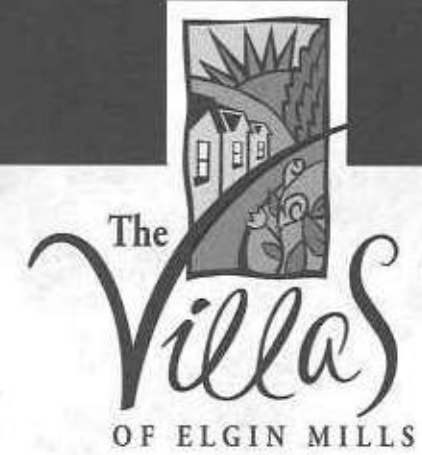


VILLA
VERONA 1490 SQ. FT.



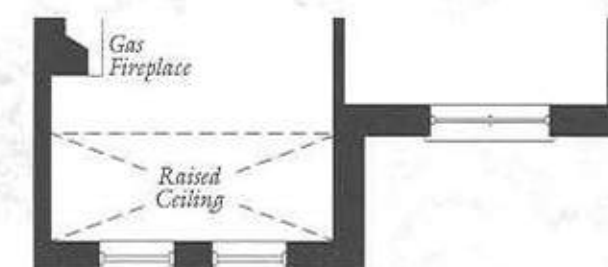
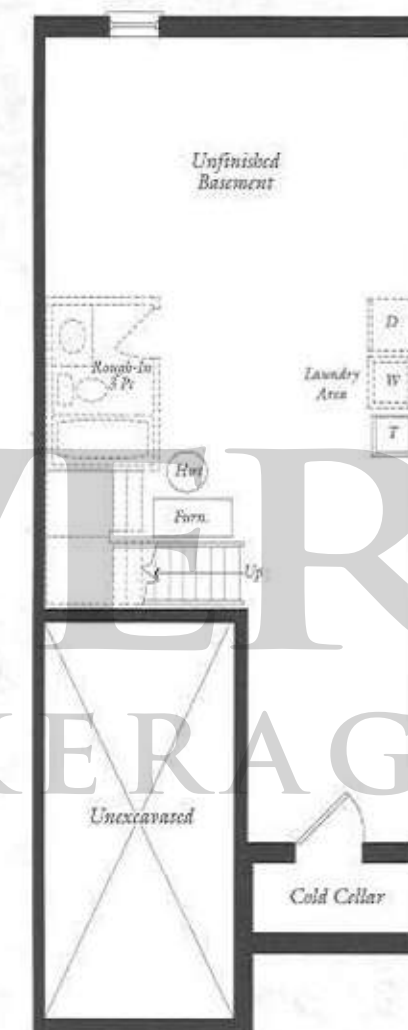
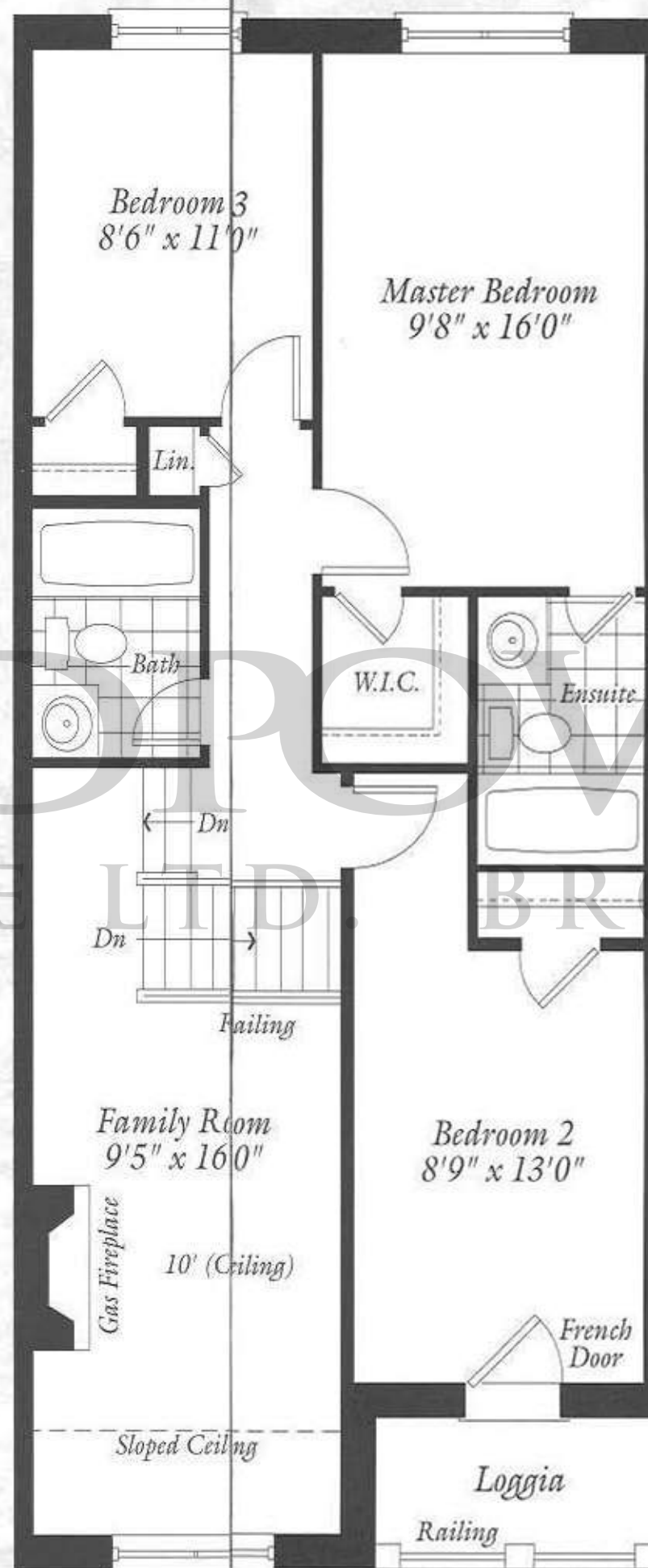
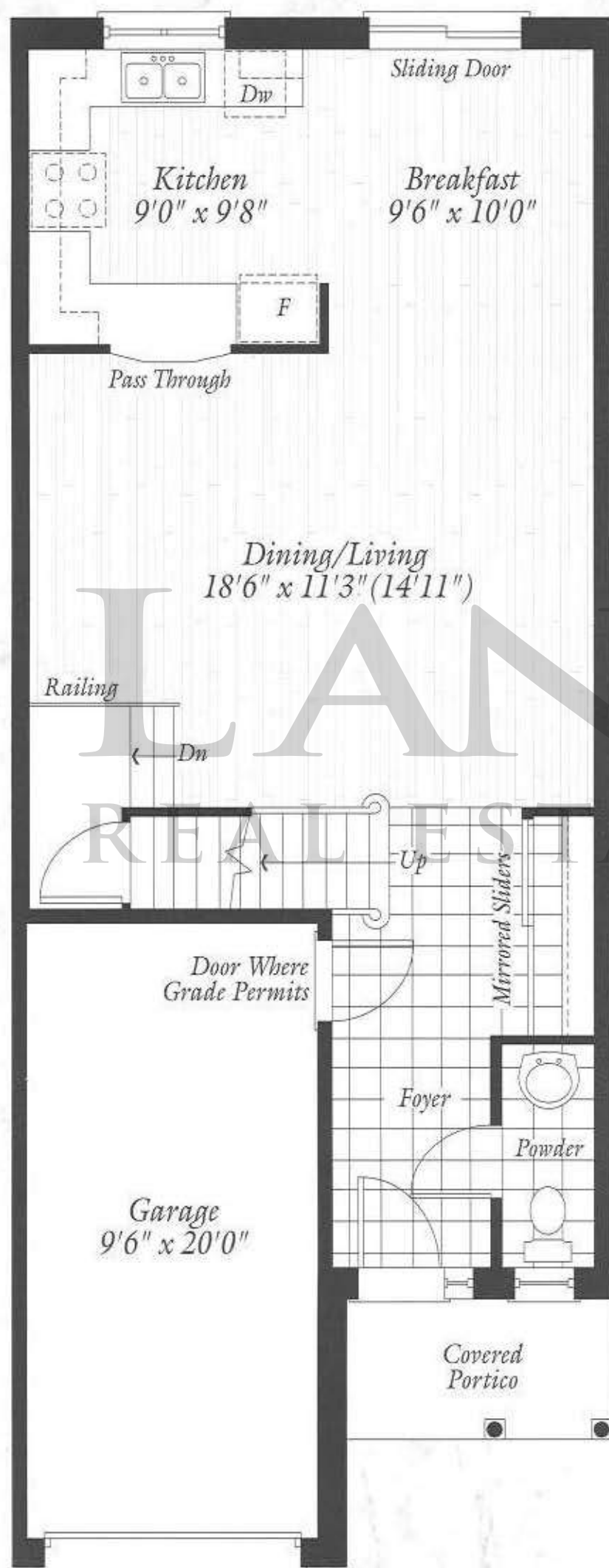
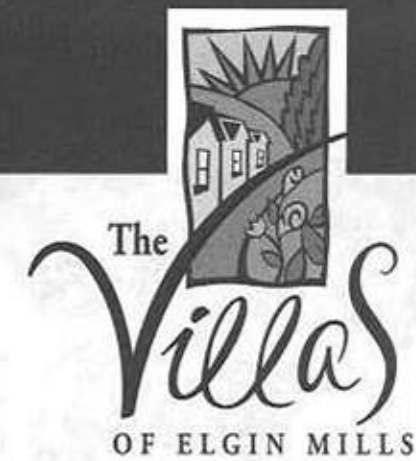
Materials, specifications, and floor plans are subjected to change without notice. All house renderings are artist's conceptions. All floor plans are approximate dimensions. Actual usable space may vary from the stated floor area. E. & O.E. (TH-03)





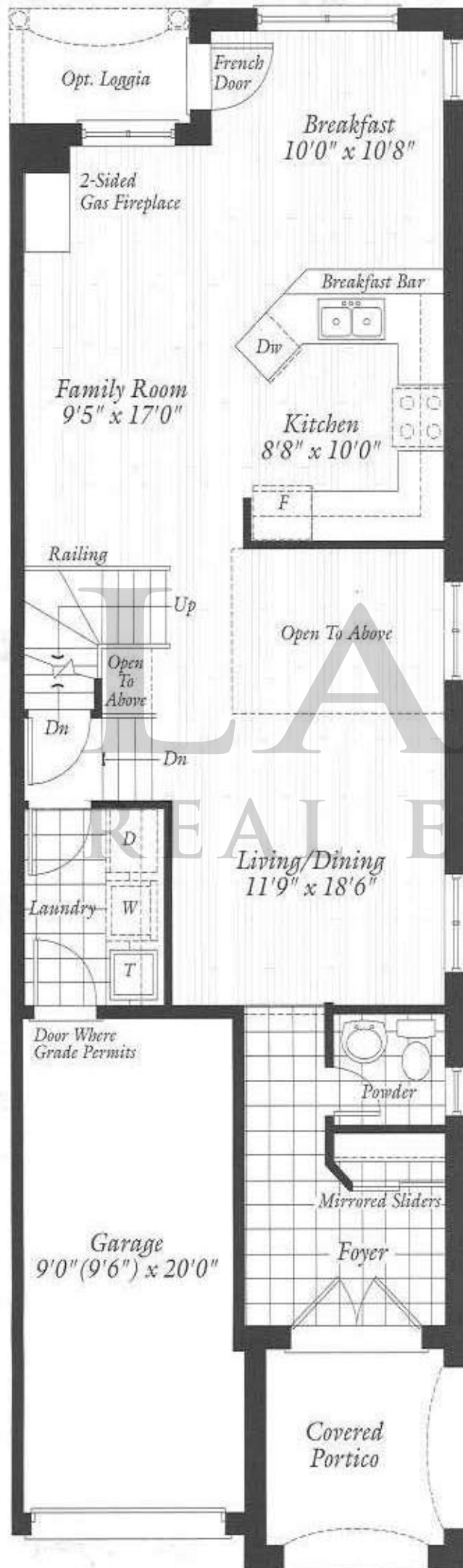
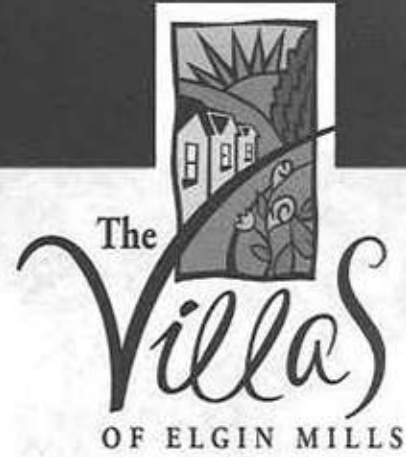
Materials, specifications, and floor plans are subjected to change without notice. All house renderings are artist's conceptions. All floor plans are approximate dimensions. Actual usable space may vary from the stated floor area. E. & O.E. (TH-10)





Materials, specifications, and floor plans are subject to change without notice. All house renderings are artist's conceptions. All floor plans are approximate dimensions. Actual usable space may vary from the stated floor area. E. & O.E. (TH-05)

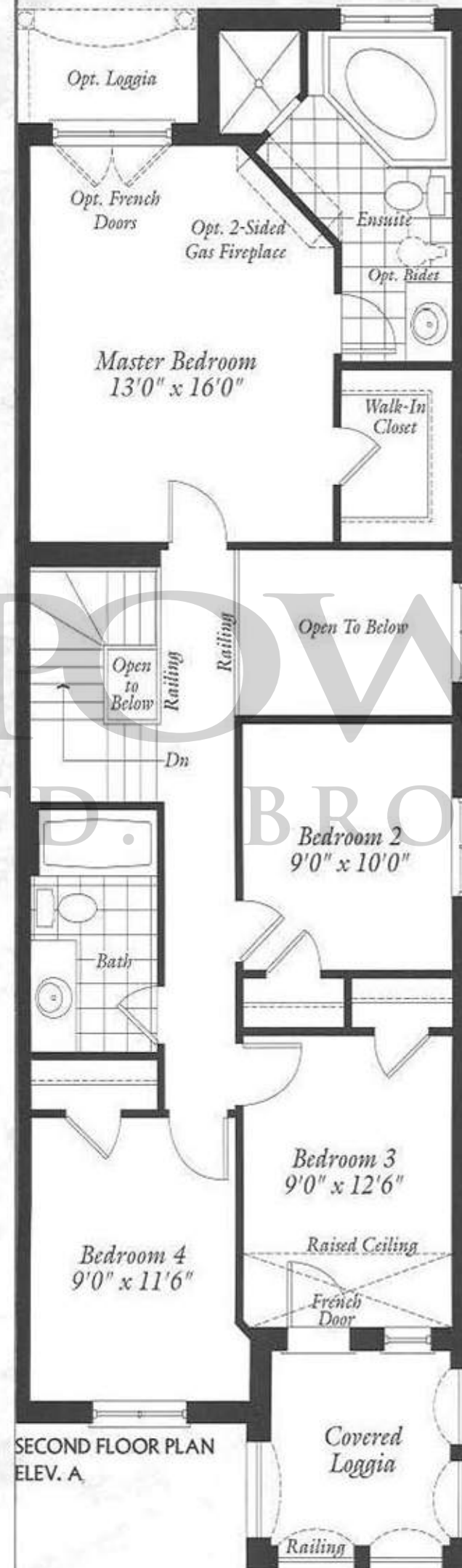




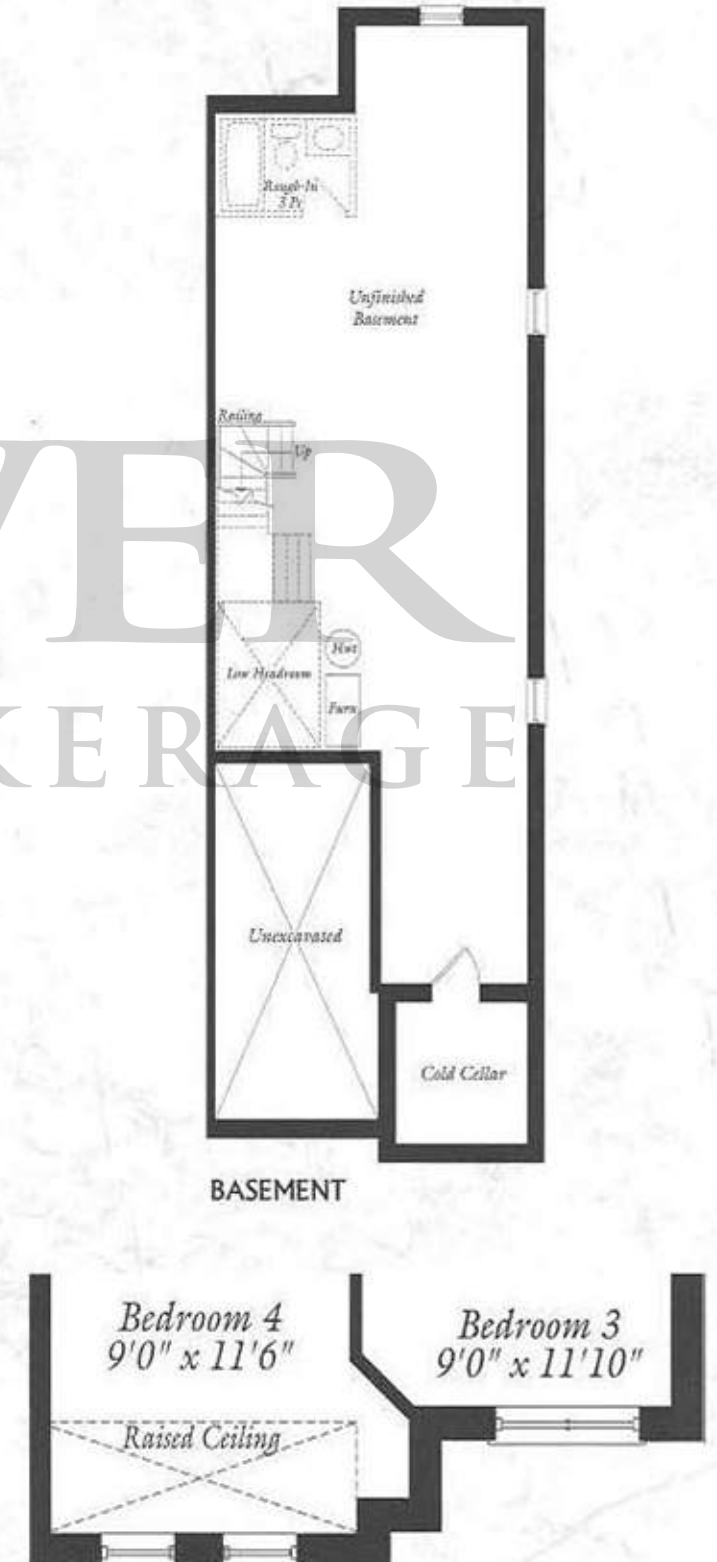
MAIN FLOOR PLAN ELEV. A



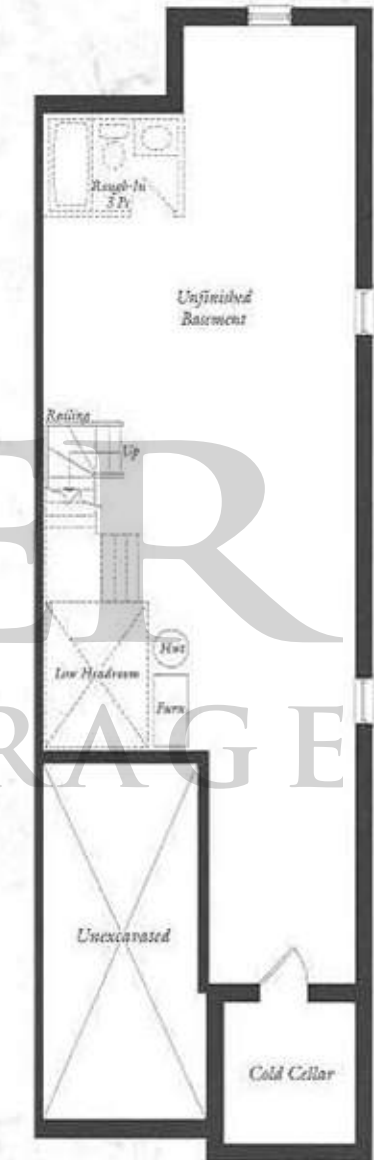
PARTIAL MAIN FLOOR PLAN ELEV. B



SECOND FLOOR PLAN ELEV. A



PARTIAL SECOND FLOOR PLAN ELEV. B



BASEMENT

2 Storey Window For O.T.B.

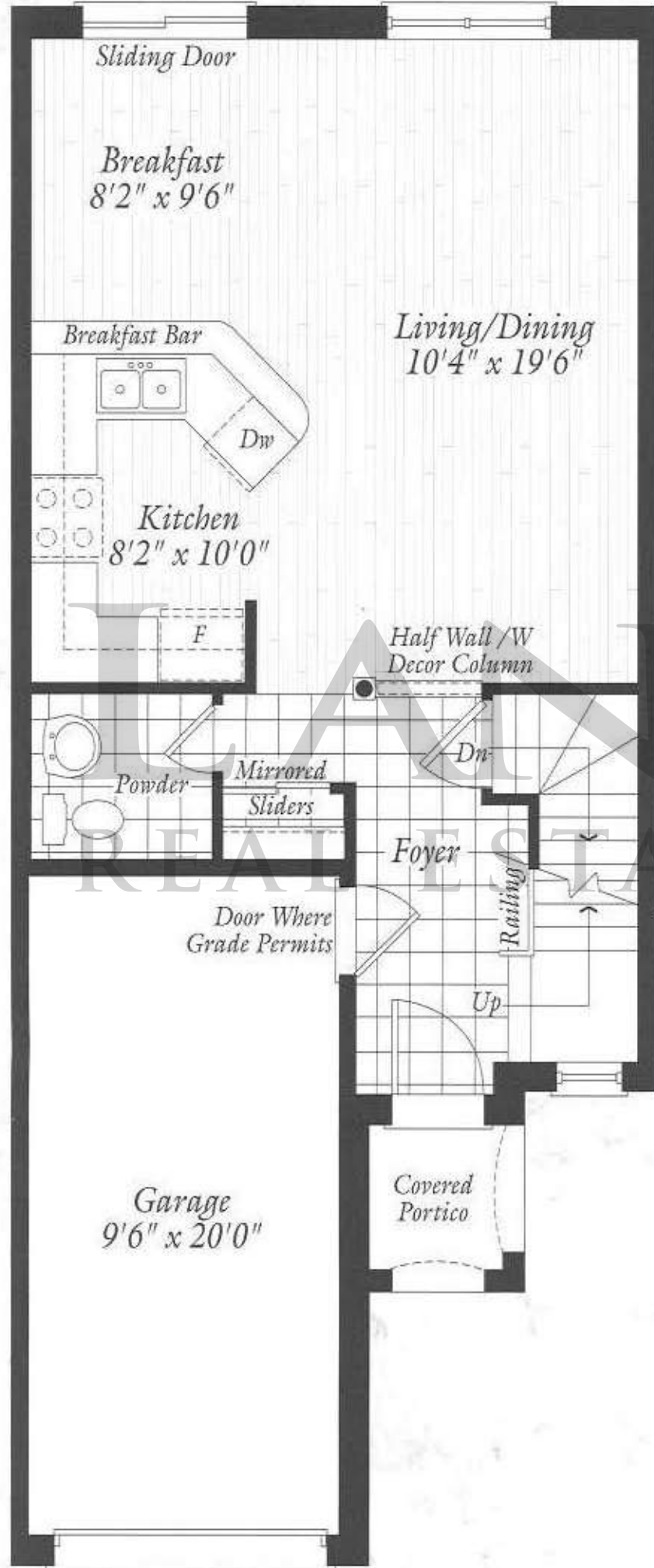
Materials, specifications, and floor plans are subjected to change without notice. All house renderings are artist's conceptions. All floor plans are approximate dimensions. Actual usable space may vary from the stated floorarea. E. & O.E. (TH-09)



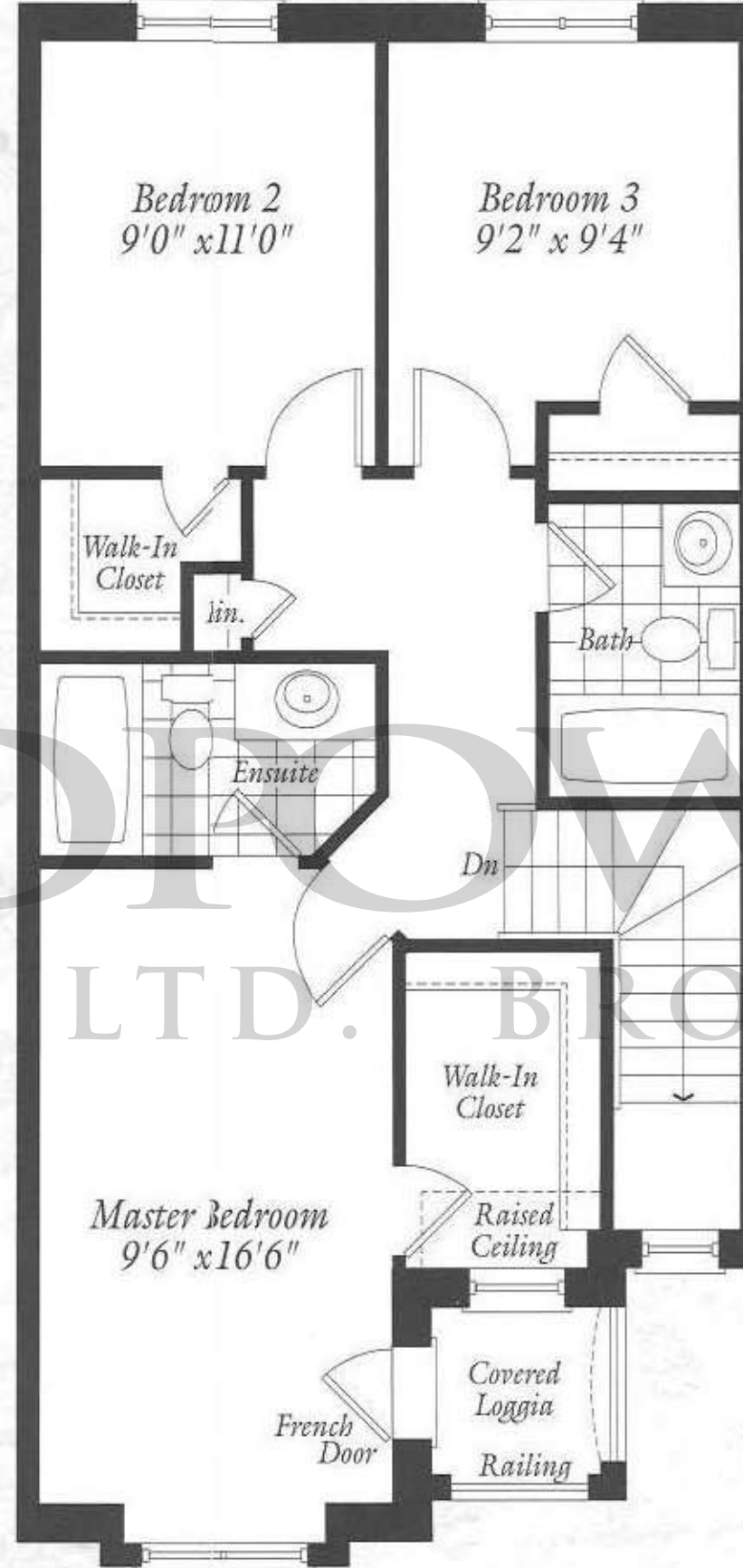
VILLA
ANTICA 1325 SQ. FT.



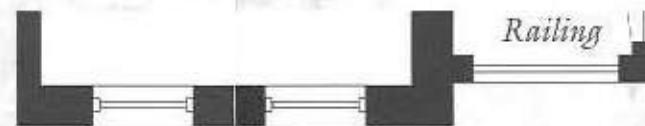
The
Villas
OF ELGIN MILLS



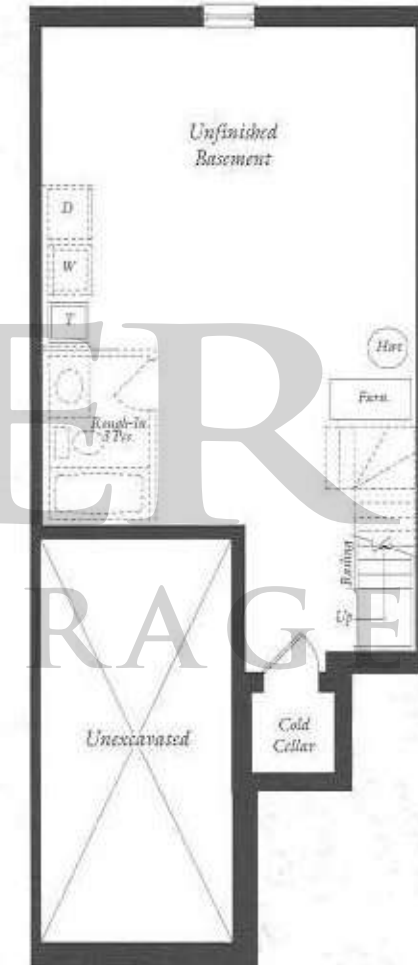
MAIN FLOOR



SECOND FLOOR ELEV. A



ELEV. B



BASEMENT





LUXURY FEATURE LIST

DISTINCTIVE EXTERIOR PROJECT FEATURES

- Classic Mediterranean Inspired Freehold Garden Villas.
- Unique architectural elevations featuring Stucco and Stone fronts, and other accent features as per applicable drawings.
- Pre-engineered monolithic structurally reinforced **Consulwal Concrete** system for all perimeter walls, party walls and the garage walls from footings to rooflines.
- Insulated concrete forms from footings to rooflines resulting in superior insulation and are non-toxic, mould resistant, a moisture barrier with reduced sound transmission and provide no food for insects such as termites etc.
- Waterproofing membrane applied to below grade areas.
- Minimum **R36** exterior walls – almost twice the requirement for current building codes.
- Minimum **R40** blown in insulation for attic areas.
- Minimum **R40** blown in insulation for ceilings in garage and under living areas.
- Wider window sills.
- Gas fired forced air "Lifebreath" clean air high efficiency furnaces with built-in heat recovery ventilator with Humidifier and Optional "Lifebreath" TFP air cleaner for whole house air cleaning. (Finalist Canada's National Energy Efficiency Awards)
- High efficiency hot water tank – gas leased unit.
- Optional Radiant Heated floors. (upgraded cement floor required)
- Pre-engineered clear span open web floor joists for elimination of almost all bulkheads.
- Metal framing for non-load bearing walls which will remain straight and true with out nail pops.
- Raised Slopes on roof pitches. (where applicable)
- All elevations and colour schemes are under strict architectural control to ensure a truly harmonious streetscape.
- Antique brass package including kick-plates to the front door with grip-set and dead bolt lock.
- Decorative coach lamps to front elevation, main floor only.
- Covered front Portico and 2nd storey Loggia's (where applicable) with Wrought Iron Decorative railings.
- Cast-in place steps to front entry, patio slabs at front and rear (where applicable).
- Exterior Decorative Columns as indicated on elevations.
- Glazed metal insulated front entry doors.
- Glass inserts to front doors as per elevation.
- Glazed metal insulated raised panel garage door.
- Quality door chime installed.
- Asphalt roof shingles (25 year warranty on shingles) and prefinished maintenance-free aluminum soffit, fascia, eavestrough and downspouts.
- Plywood sub floors glued and screwed down.
- Door from garage to interior. Provided meets grade requirements.
- Interior of garage to be fully drywalled and gas sealed.
- Cold Cellar with door, vent and light.
- Smoke detectors on first, second and basement floors hard wired to electrical panel.
- Carbon Monoxide detector.
- Copper wiring throughout.
- Rough – in for central air conditioning.
- Rough – in for central vacuum.
- Rough – in for future security alarm system.
- Driveways are paved with base course asphalt within one year of closing.
- Lots are to be fully sodded within one year of closing.

LUXURY INTERIOR FEATURES

- 9' CEILINGS ON MAIN FLOOR AND 8' CEILINGS ON 2ND FLOOR AND BASEMENT.
- Oversized windows with Transom, Palladium, Elliptical and or Double Height window details as per applicable elevation.
- Dramatic open concept design with Cathedral Ceilings and Raised Ceilings as per applicable plan.
- Decorative architectural columns as per applicable plan.

- Elegant oak staircase with upgraded 1 3/4" oak spindles, oak handrail, nosing and stringer (veneer) in a natural finish. From Vendor's sample.
- Smooth finish ceilings to the kitchen, powder room, bathrooms and laundry room. Textured ceilings to all other applicable areas with Three (3") Smooth Border.
- Rough – in for cable T.V. in family room and all bedrooms.
- Rough – in for telephone in kitchen, family room and all bedrooms.
- Quality direct vent gas fireplaces in a variety of styles (as per applicable plan) with paint grade mantles, marble surround and hearth for single and two – sided fireplaces only. Three – sided fireplace to come standard with a paint grade cap, from Vendor's sample.
- Rough-in central vacuum.

DELUXE KITCHEN FEATURES

- Gourmet upgraded Cabinetry to Kitchen. (as per vendor's standard sample.)
- Elongated 41" upper kitchen cabinets with Upper Crown.
- Bank of Drawers provided to all kitchens. (provided space permits)
- Ledgeback Double stainless steel sink with single lever faucet and vegetable spray-kitchen island and breakfast counters. (as per applicable plan)
- Angled Upper corner cabinet. (as per applicable plan)
- Large selection of post formed laminated countertops. From vendor's standard sample.
- Single French door from kitchen to rear yard or five (5') vinyl sliding door. (as per applicable plan)
- Rough – in plumbing, electrical and space for future dishwasher in kitchen.
- Upgraded 6" exhaust hood vent.
- Heavy – duty wiring and outlet for stove.

OPULENT BATHROOM FEATURES

- Upgraded vanity Cabinetry. (as per vendor's standard sample.)
- Oval shaped soaking tub in ensuite bathroom. (as per applicable plan)
- Separate Glass Shower enclosure with Glass door to ensuite bathroom. (as per applicable plan)
- Quality plumbing fixtures (white only) with co-ordinated ceramic accessories, for all bathrooms and powder room.
- Large selection of post formed laminated countertops. From vendor's standard sample.
- Double vanity basin's to the ensuite bathroom. (as per applicable plan)
- Pedestal sink in powder room. (white only)
- Oversized Mirrors, counter width to 36" in height.
- Theatre Strip lighting provided above mirror in all bathrooms and powder room.
- Optional Bidet in master ensuite (as per applicable plan)
- Single lever washerless faucets with mechanical (pop up) drains for all vanities.
- All free standing shower stalls and bathtubs other than corner and oval tubs to have water pressure balancing valves.
- Exhaust fans in all bathrooms.
- Rough in three piece bathroom in basement (as per applicable plan)

CONVENIENT LAUNDRY ROOM FEATURES

- Lower base cabinets with set – in tub and/or freestanding white Laundry tub. (as per applicable plan)
- Taps and drain for automatic washer.
- Heavy – duty electrical outlet and exterior dryer vent provided for all laundry areas.
- All 2nd floor laundry rooms to have a floor drain.

INTERIOR FLOOR AND WALL FINISHES

- Imported ceramic floor tiles 12"x12" or 13"x13" in areas as indicated in the floor plans.
- Imported ceramic wall tiles 6"x 8", 8" x 8" or 8"x10" to all bathrooms.

- Ensuite ovals tubs to have two (2) rows of wall tiles. From vendor's standard sample.
- Marble thresholds where applicable. Choice of two colours. Bianco Carrera or Beige Perlato.
- Luxurious 40oz. broadloom. Where applicable. Choice of two (2) colours. From vendor's standard sample.
- Broadloom underpad 1/2" foam. From vendor's standard sample.
- Pre-finished solid oak hardwood floors 2 1/4" x 3/4" in a natural finish in areas as indicated in the floor plans.
- Paint finishes, choice of two (2) colours. From vendors standard sample.
- Paint finishes for kitchen/breakfast, bathrooms, powder room and laundry room to be semi-gloss egg shell latex, all other areas latex flat.
- Upgraded paint finishes available. i.e. special effects, faux finish, texturing, Venetian stucco and murals etc. Please ask sales consultant for details.

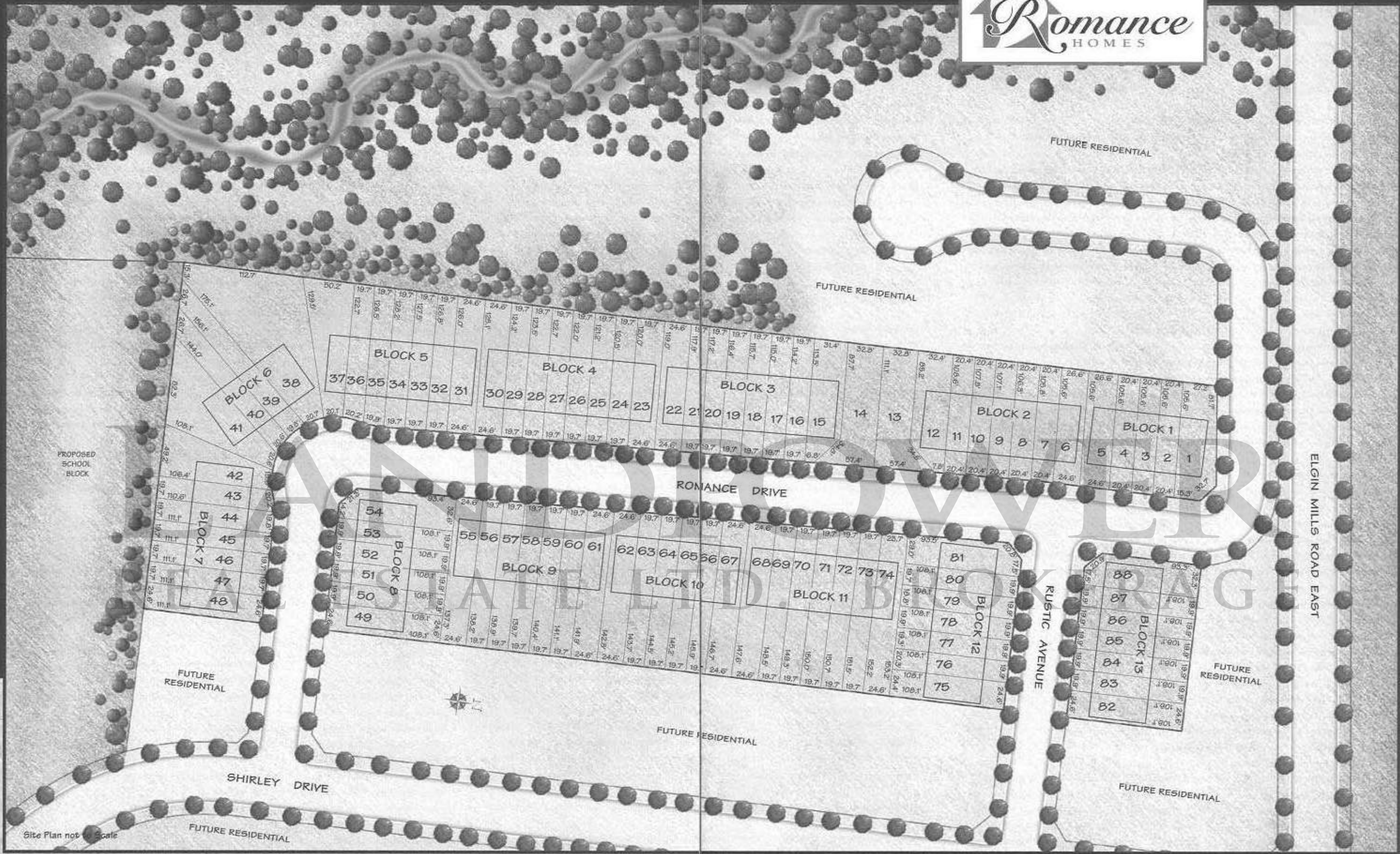
MILLWORK, DOORS AND WINDOWS

- Upgraded contemporary interior trim, casing and baseboard (2 3/4" casing and 4 1/4" baseboard)
- All doors, windows and archways to be trimmed.
- All Interior Trim, Baseboards and Doors to be painted Semi-Gloss White (Egg Shell).
- Energy Efficient Maintenance Free Vinyl Clad Casement Windows Through – Out with interior Mullions to Front Elevation only and vinyl sliders to basement.
- Screens on all operable windows and Sliding doors.
- Upgrade interior doors, raised panel Colonist or Classique (except cold cellar door and door from garage to the interior).
- Space saving Wired shelving to all closets.
- Your choice of lever and/or knob handles for all interior doors.
- Brass finish hardware for all doors.
- Vinyl thermo glazed sliding patio doors complete with screen off kitchen/breakfast areas. (as per applicable plan)
- Upgraded Exterior Single thermo-glazed French Door with Interior Mullions off kitchen/breakfast area and at 2nd storey Loggia's. (as per applicable plan)
- Mirrored sliding doors to main hall closet. (as per applicable plan)

LIGHTING AND ELECTRICAL

- 100 amp electrical service with service breaker and all copper wiring.
- White toggle switches, plugs and plates throughout 1st and 2nd floor.
- Ceiling light fixture on a separate switch provided to all areas except the family room, living room and standard closets.
- Standard electric plug and light in garage.
- Two exterior waterproof electrical outlets one (1) provided in the garage and one (1) to the rear of the home.
- Decorative Coach Lamps to front elevations, on the main floor.
- Exterior light fixture to be provided at rear
- Automatic Smoke Detector provided to all three (3) levels.
- Carbon Monoxide Detector(s) installed as per By-Law.
- Electrical door chimes.
- Rough – in for Security System.
- Outlet for future garage door opener provided to ceiling of garage.
- Split electrical outlet at counter level for small appliances.
- Dedicated electrical outlet for Refrigerator.
- Exhaust fans to bathrooms and powder rooms.





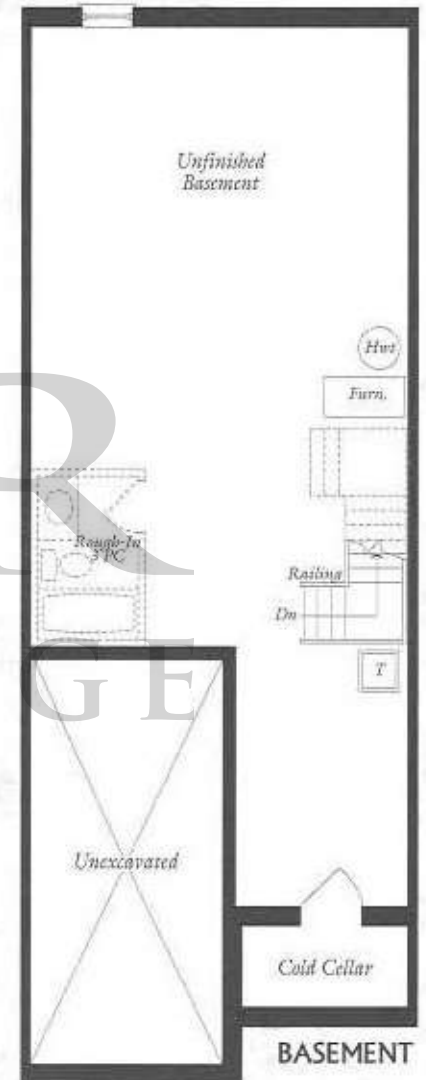
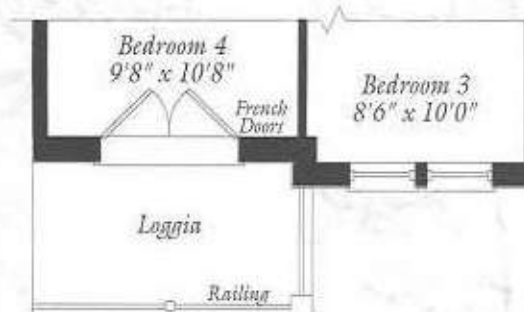
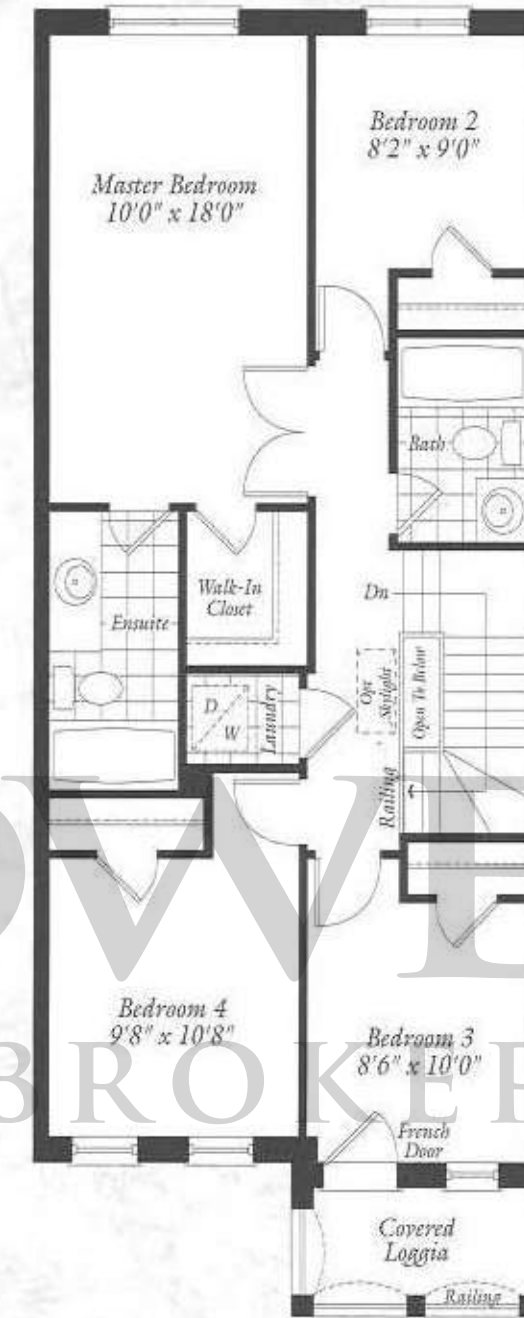
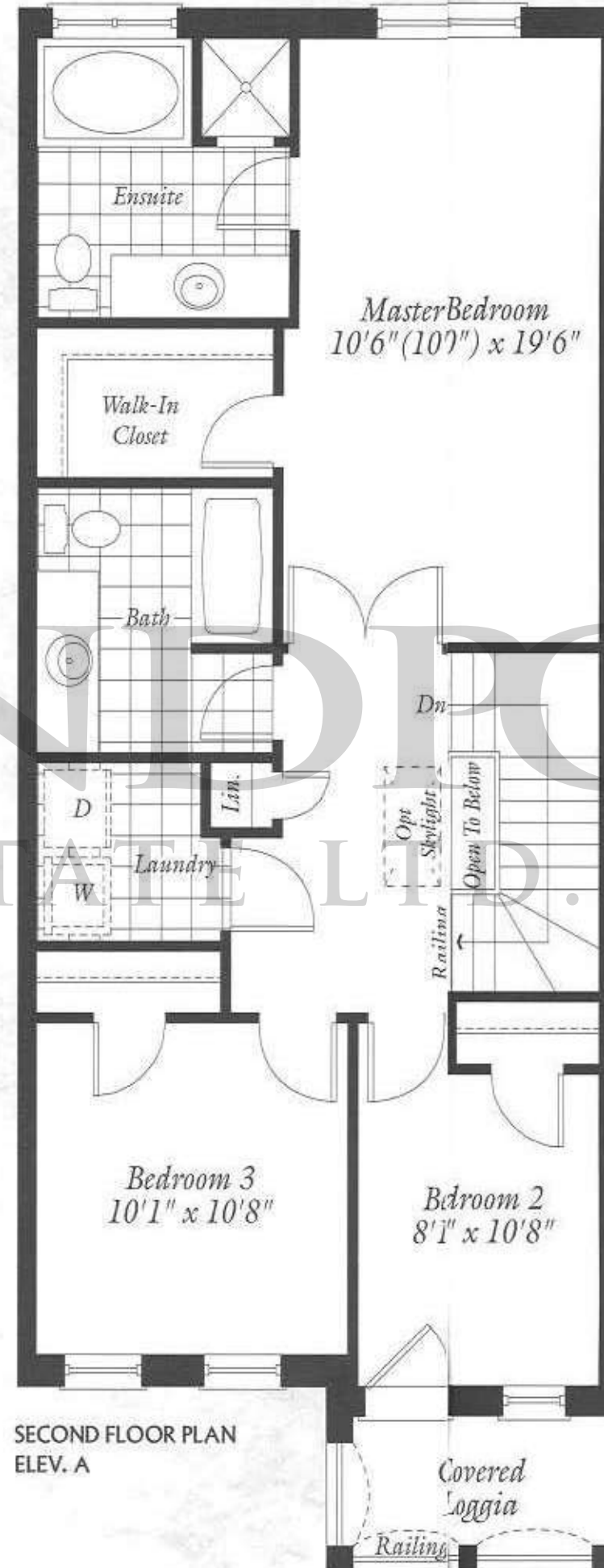
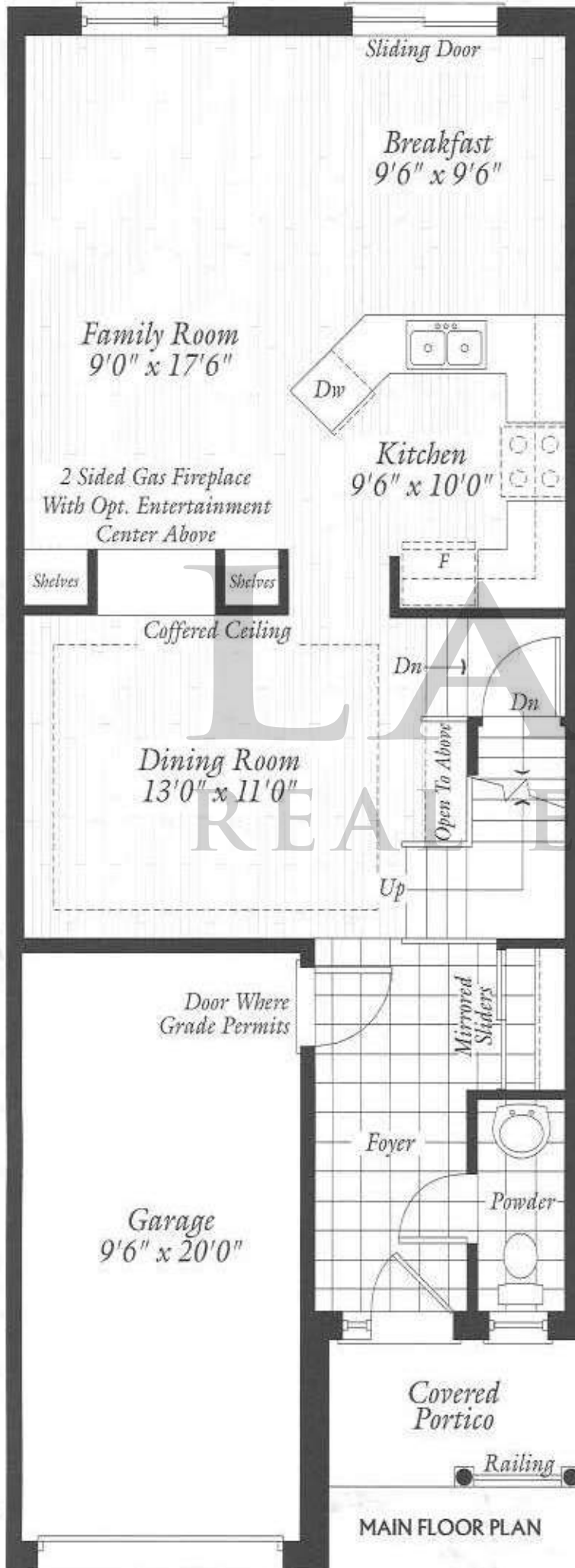
Site Plan not to Scale



S I T E P L A N

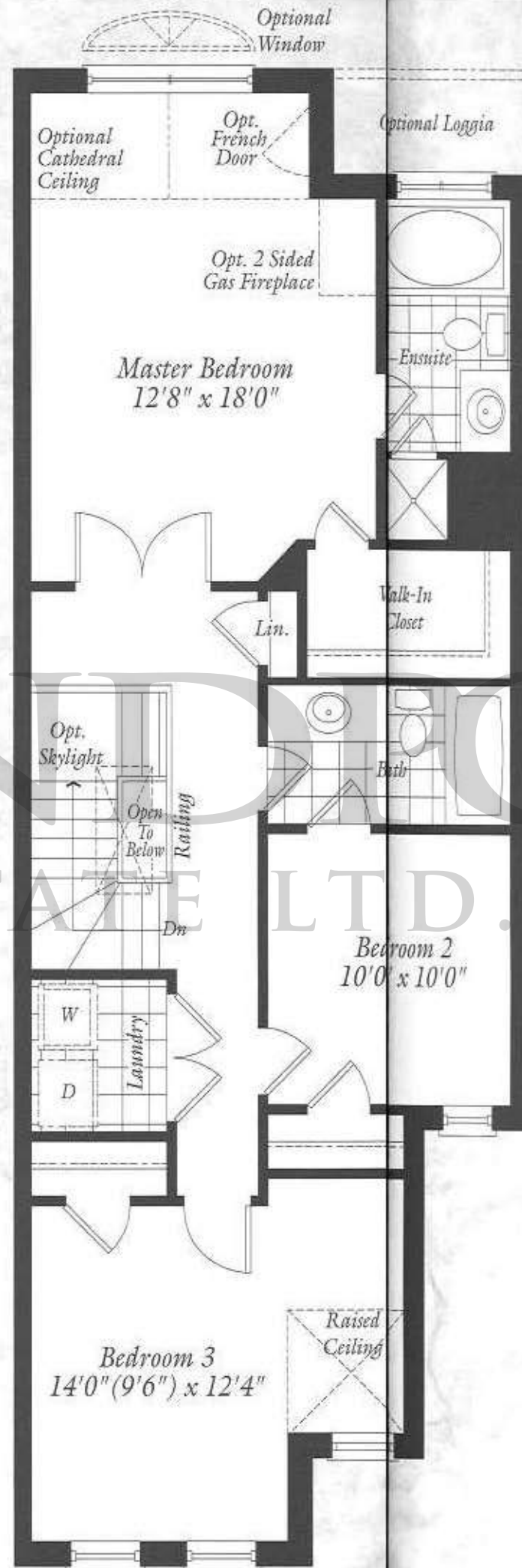
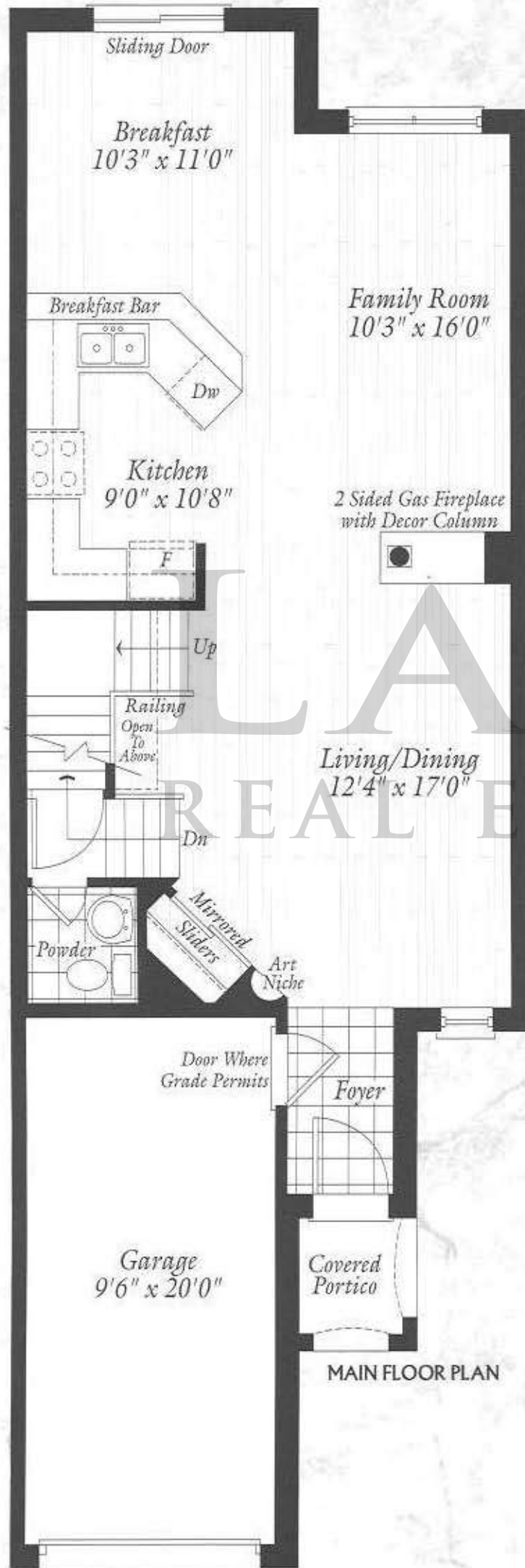


The
Villas
OF ELGIN MILLS

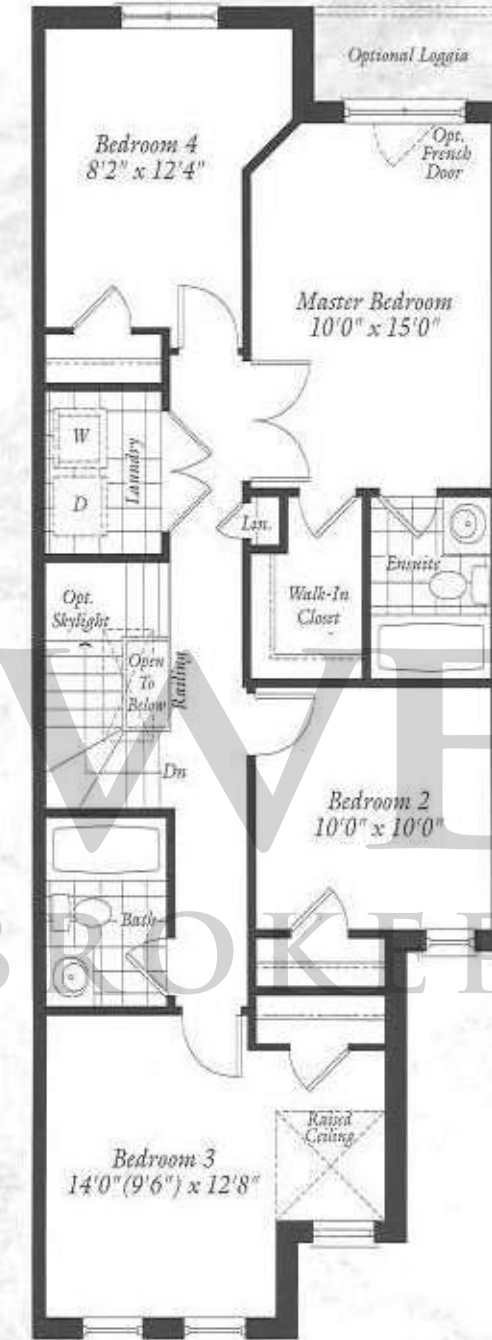


Materials, specifications, and floor plans are subjected to change without notice. All house renderings are artist's conceptions. All floor plans are approximate dimensions. Actual usable space may vary from the stated floor areas. E. & O.E. (TH-06)

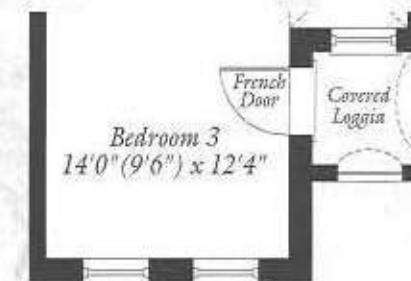
VILLA
TERMÉ 1750 SQ. FT.



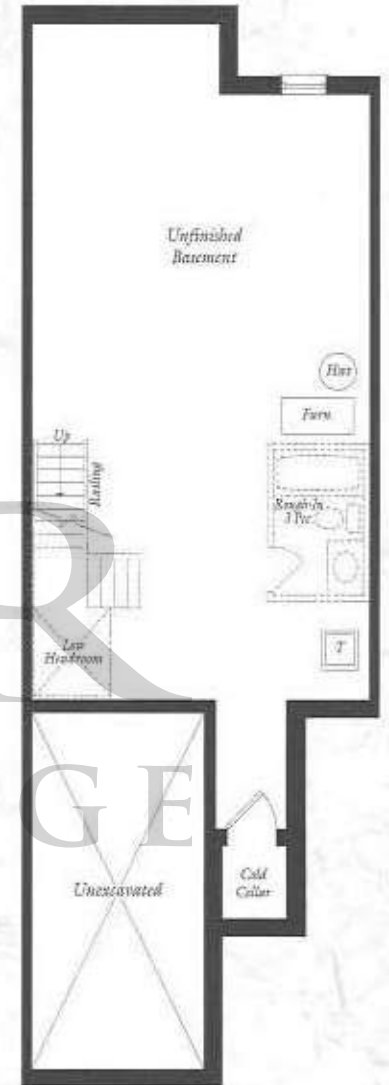
SECOND FLOOR 3 BEDROOM PLAN ELEV. A



SECOND FLOOR 4 BEDROOM PLAN ELEV. A



SECOND FLOOR 3 BEDROOM PLAN ELEV. B



BASEMENT

Materials, specifications, and floor plans are subjected to change without notice. All house renderings are artist's conceptions. All floor plans are approximate dimensions. Actual usable space may vary from the stated floor areas. E. & O.E. (TH-07)

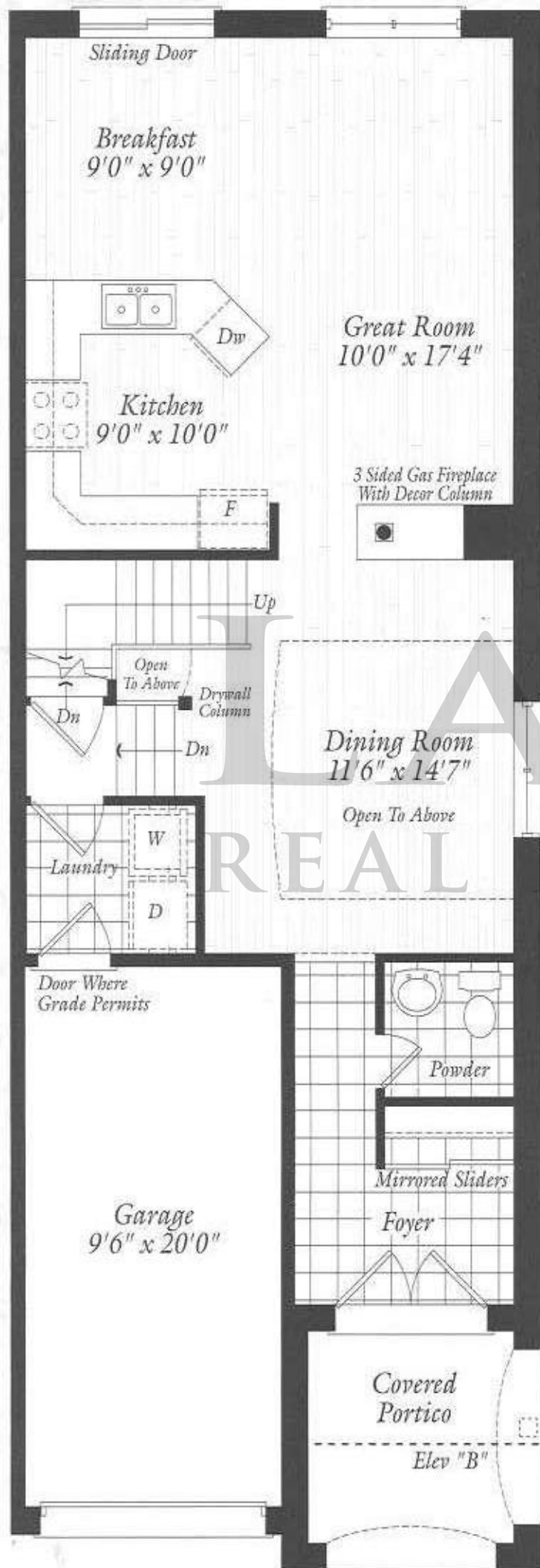


VILLA
CAPRI

1815 ELEV A / 1840 ELEV B SQ. FT.

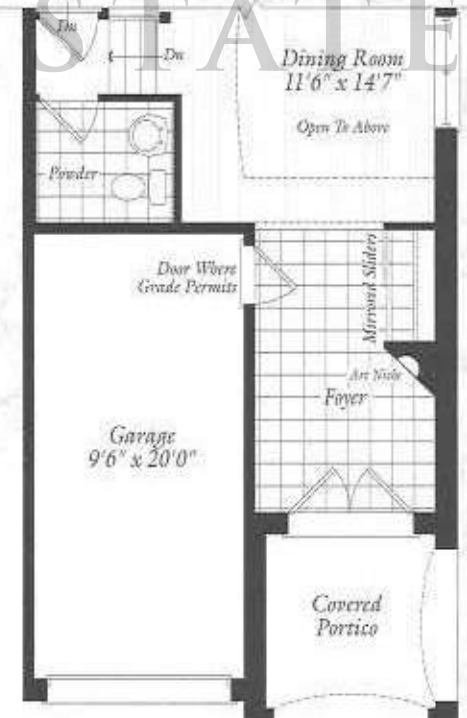


The
Villas
OF ELGIN MILLS

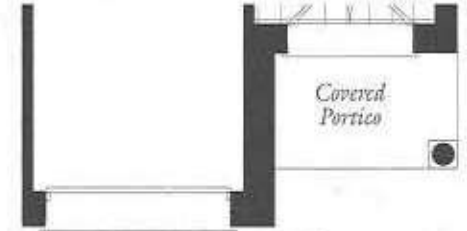


MAIN FLOOR PLAN

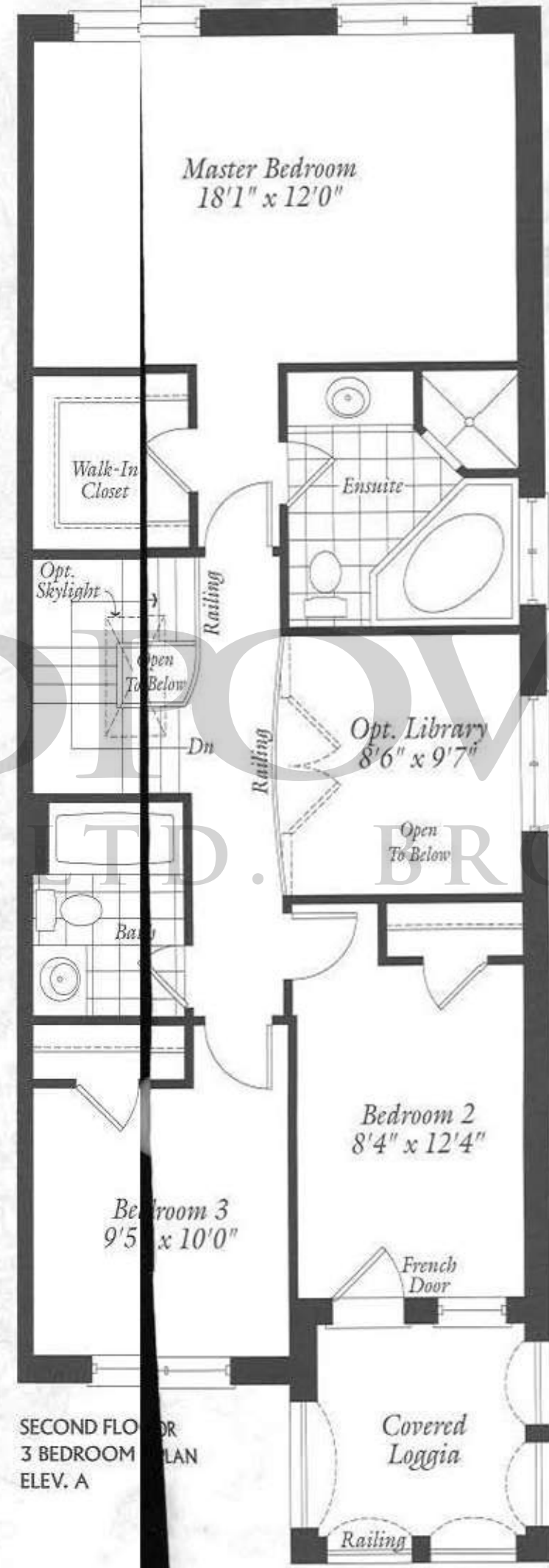
LAND AND BROKERAGE



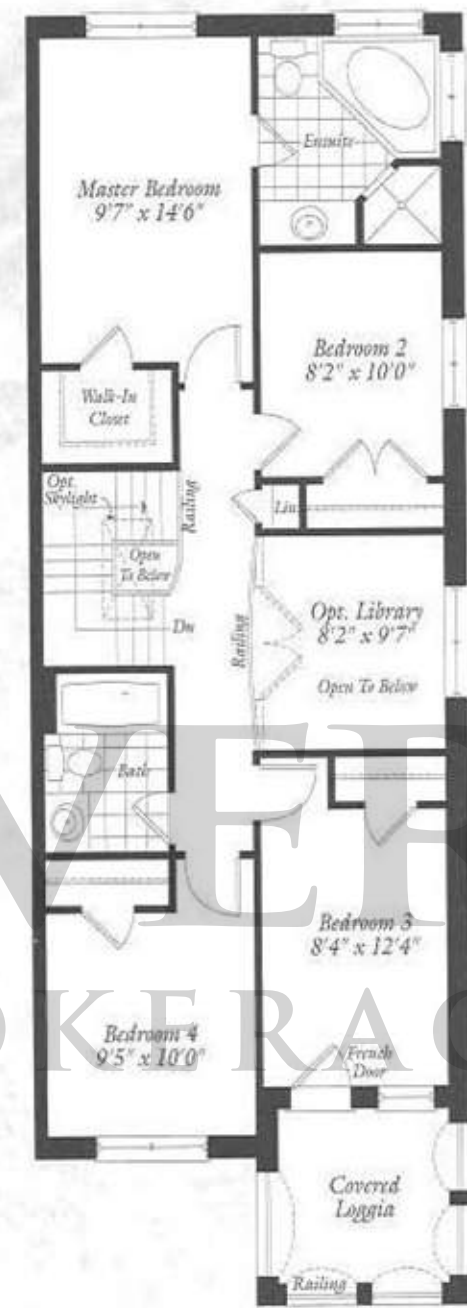
ALT. MAIN FLOOR PLAN
ELEV. A



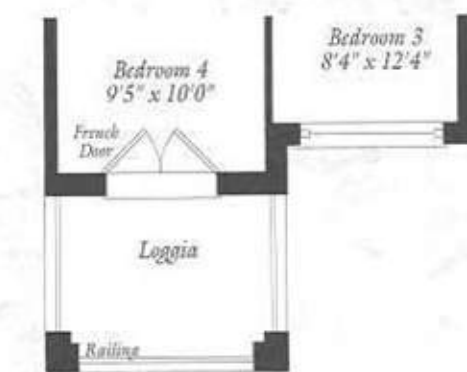
ALT. MAIN FLOOR PLAN
ELEV. B



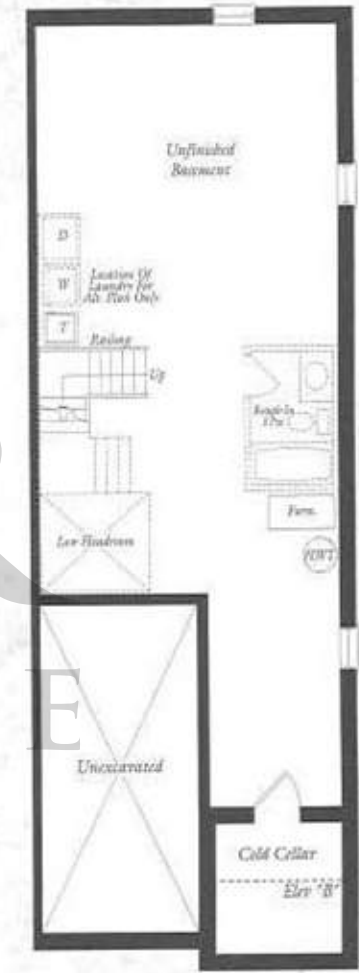
SECOND FLOOR PLAN
3 BEDROOM
ELEV. A



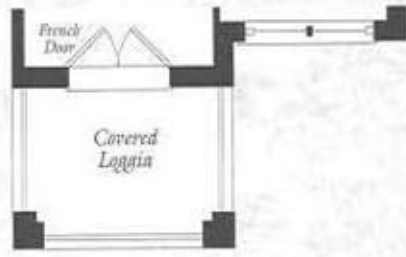
OPTIONAL SECOND FLOOR PLAN
4 BEDROOM ELEV. A



PARTIAL SECOND FLOOR PLAN
4 BEDROOM ELEV. B



BASEMENT



SECOND FLOOR PLAN ELEV. B
3 BEDROOM

Materials, specifications, and floor plans are subjected to change without notice. All house renderings are artist's conceptions. All floor plans are approximate dimensions. Actual usable space may vary from the stated floorarea. E. & O.E. (TH-08)

